

# The Columbia Pike Special Revitalization District Form Based Code

Section 20 (Appendix A) of the Zoning Ordinance,  
"CP-FBC" Columbia Pike - Form Based Code Districts

## Principles and Regulations

Regulating Plans  
Building Envelope Standards  
Streetscape Standards  
Architectural Standards



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# I. Components of the Code

The ***Columbia Pike Special Revitalization District Form Based Code*** is designed to foster a vital main street for its adjacent neighborhoods through a lively mix of uses—with shopfronts, sidewalk cafes, and other commercial uses at street level, overlooked by canopy shade trees, upper story residences and offices.

Redevelopment within the ***Columbia Pike Special Revitalization District*** may be regulated by the ***Columbia Pike Special Revitalization District Form Based Code***, in order to achieve Arlington County's vision set forth in the ***Columbia Pike Initiative—A Revitalization Plan***, adopted by the County Board on March 12, 2002, the subsequent Columbia Pike Urban Design Charrette and citizen workshops held in September 2002, and any other future addenda.

While the ***Columbia Pike Special Revitalization District Form Based Code*** provides a citizen-endorsed urban design for the improvement of all properties in designated areas, configurations shown for the Bus Rapid Transit/Light Rail Transit (BRT/LRT) systems are shown only for illustrative purposes and no commitment has yet been made by Arlington County and/or a transit service operator.

The ***Columbia Pike Special Revitalization District Form Based Code*** (otherwise referred to herein as "the **Form Based Code**" or "the **Code**") is a legal document that regulates land-development, setting careful and clear controls on building form—with broad parameters on building use—to shape clear public space (good streets, neighborhoods and parks) with a healthy mix of uses. With proper urban form, a greater integration of building uses is natural and comfortable. The **Form Based Code** uses simple and clear graphic prescriptions and parameters for height, siting, and building elements to address the basic necessities for forming good public space.

Wherever there appears to be a conflict between the ***Columbia Pike Special Revitalization District Form Based Code***, Section 20 of the ***Arlington County Zoning Ordinance***, and other sections of the Zoning Ordinance (as applied to a particular development), the requirements specifically set forth in the **Form Based Code** shall prevail. For development standards not covered by the **Form Based Code**, the other applicable sections in the ***Arlington County Zoning Ordinance*** shall be used as the requirement. Similarly, all development must comply with all relative Federal, State or local regulations and ordinances including, but not limited to, the ***Chesapeake Bay Ordinance*** and other environmental regulations.

The ***Columbia Pike Special Revitalization District Form Based Code*** is comprised of: **Definitions**, the **Regulating Plans**, the **Building Envelope Standards**, the **Streetscape Standards** and the **Architectural Standards**.

## Definitions

Certain terms in the Code are used in very specific ways, often excluding some of the meanings of common usage. Wherever a word is in **SMALL CAPITAL LETTERS** format, consult the **Definitions** for the specific meaning. Words used in the **Form Based Code**, but not defined by the **Form Based Code**, that are defined in the Arlington County Zoning Ordinance shall have the meanings set forth therein.

## The Regulating Plan

The **REGULATING PLAN** is the coding key for the Columbia Pike **Form Based Code** that provides specific information on permitted development for each building site. The **REGULATING PLAN** also shows how each **LOT** relates to public spaces (**STREETS**, **CIVIC GREENS**, **PEDESTRIAN PATHWAYS**, etc.) and the surrounding neighborhood. There may be additional regulations for **LOTS** in special locations/situations as identified in the **REGULATING PLAN**.

## The Building Envelope Standards

The **BUILDING ENVELOPE STANDARDS** establish basic parameters governing building form, including the envelope for building placement (in three dimensions) and certain permitted/required building elements, such as storefronts, **BALCONIES**, and **STREET WALLS**. The **BUILDING ENVELOPE STANDARDS** establish both the boundaries within which things may be done and specific things that must be done. The applicable standard for a building is determined by its **STREET FRONTAGE** contained in the **REGULATING PLAN**. This produces a coherent **STREET** and allows the building greater latitude behind its street facade.

The intent of the **BUILDING ENVELOPE STANDARDS** is to shape a vital public space (Columbia Pike and its adjoining **STREETS**) through placement and envelope controls on private buildings. They aim for the minimum level of control necessary to meet that goal.

## The Streetscape and Architectural Standards

The purpose of the **Streetscape Standards** is to ensure coherent **STREETS** and to assist builders and owners with understanding the relationship between the public space of Columbia Pike and their own building. These standards set the parameters for planting trees and/or other amenities on or near each building site.

The goal of the **Architectural Standards** is a coherent and pleasing architectural character that is complementary to the best local traditions. The **Architectural Standards** govern a building's architectural elements regardless of its **BUILDING ENVELOPE STANDARD** and set the parameters for allowable materials, configurations, and construction techniques. Equivalent or better products (as determined by the **ADMINISTRATIVE REVIEW TEAM**) than those specified are always encouraged and may be submitted for approval to the County.

## II. Definitions

The following terms are defined for the purpose of the **Columbia Pike Special Revitalization District Form Based Code**, Section 20 of the *Arlington County Zoning Ordinance*. Terms not defined here may be defined elsewhere in the Zoning Ordinance. In such case, the definition contained in the Zoning Ordinance will be used. Certain terms in the **Form Based Code** are used in very specific ways, often excluding some of the meanings of common usage. Wherever a word is printed in SMALL CAPITAL LETTERS, it is being used as defined herein.

### ACCESSORY UNIT

A building (maximum floor area of 650 square feet) that is not the primary structure, located on a LOT that can be used as additional residential or home occupation space by the owner of the primary structure.

### ADMINISTRATIVE REVIEW TEAM

The County staff that has been designated to review **Form Based Code** applications. The team will consist of representatives from the Department of Community Planning, Housing & Development, including planning and historic preservation; the Department of Environmental Services; and, Arlington Economic Development. The Columbia Pike Coordinator will be designated as a Deputy Zoning Administrator and shall play the lead role on the ADMINISTRATIVE REVIEW TEAM. Additional staff resources from other departments and areas may also be involved as determined necessary by the County Manager or the ADMINISTRATIVE REVIEW TEAM. Designating the Columbia Pike Coordinator as a Deputy Zoning Administrator will provide the appropriate level of legal authority to the ADMINISTRATIVE REVIEW TEAM.

### ALLEY

The public right of way for vehicles and pedestrians within a BLOCK that provides access to the rear of buildings, vehicle parking (e.g., garages), utility meters, and recycling and garbage bins.

### AVENUE BUILDING

Building types as defined in the BUILDING ENVELOPE STANDARDS for AVENUE SITES.

### AWNING

A cantilevered, projected or suspended cover over the sidewalk portion of the STREET. Also, roof-like coverings, usually of canvas or metal and often adjustable, placed over the sidewalk, windows, or doors to provide protection from sun and rain.

### BALCONY

An exterior platform attached to the front of a main building (on and forward of its REQUIRED BUILDING LINE or STREET side). BALCONIES, where required in the BUILDING ENVELOPE STANDARDS, must be roofed and enclosed by balustrades (railings) and posts that extend up to the roof. BALCONIES aligned vertically on adjacent floors may post up to one another and share a single roof element. BALCONIES may not project within 5 feet of a property line.

### BAY or BAY WINDOW

Generally, a U-shaped enclosure, extending the interior space of the building outward of the exterior BUILDING WALL/RBL (along its STREET side). Minimum interior clear width at main wall of 4 feet; projection not greater than 36 inches beyond the RBL; walls and windows shall be between 90 degrees (perpendicular) and 0 degrees (parallel) relative to the primary wall from which they project.

### BLOCK

An increment of land comprised of LOTS, ALLEYS, and tracts circumscribed and not traversed by STREETS (PEDESTRIAN PATHWAYS excepted). BLOCKS shall be measured at the frontage LOT lines (along the REQUIRED BUILDING LINE).

### BLOCK CORNER

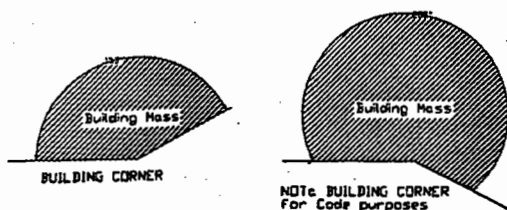
This refers to the outside corner of a BLOCK at the intersection of any two STREETS. Some of the requirements of the BUILDING ENVELOPE STANDARDS are specific to BLOCK CORNERS. Inside corners, where the resulting angle formed by the BLOCK face is less than 180 degrees (concave), are not considered BLOCK CORNERS for the purposes of this Code.

### BUILDABLE AREA

The area of the LOT that building(s) may occupy. The BUILDABLE AREA sets the limits of the building footprint now and in the future—additions to structures must be within the designated area.

### BUILDING CORNER

This refers to the outside corner of a building where the primary building mass is within an angle less than 180 degrees. Some of the proscriptions of the BUILDING ENVELOPE STANDARDS are specific to BUILDING CORNERS. Inside corners, where the exterior space of the building mass forms an angle of more than 180 degrees, are not considered BUILDING CORNERS for the purposes of this Code.



### **BUILDING ENVELOPE STANDARDS (BES)**

The part of the Code that establishes basic parameters regulating building form, including the envelope, placement (in three dimensions) and certain permitted/required building elements, such as storefronts, BALCONIES, and STREET WALLS. The BUILDING ENVELOPE STANDARDS establish both the boundaries within which things may be done and specific things that must be done. The applicable BES for a site is determined by its STREET FRONTAGE as per the REGULATING PLAN. This produces a coherent STREET and allows the building greater latitude behind its street facade.

### **CIVIC GREEN OR SQUARE**

Public spaces located within the **Columbia Pike Special Revitalization District** as designated on the REGULATING PLAN. The term SQUARE is generally used to describe spaces that have more paved surface area. The term CIVIC GREEN is generally used to describe a formally configured, small public lawn or park that is primarily unpaved. Both shall have at least 60 percent of their perimeter fronting rights of way and both spaces should be surrounded by STREET TREES. Their dimensions shall be no narrower than a 1:4 ratio, and no SQUARE or CIVIC GREEN width or breadth dimension shall be less than 25 feet. Situated at prominent locations within the **Columbia Pike Special Revitalization District** and often dedicated to important events or citizens (with PUBLIC ART), CIVIC GREENS and SQUARES shall not include active recreation structures such as ball fields and courts, but may include temporary ice skating rinks. See the **Streetscape Standards** for the specific controls on SQUARES and CIVIC GREENS.

### **CIVIC USE**

Community uses including: meeting halls; libraries; schools; police and fire stations; post offices (retail operations only, no primary distribution facilities); places of worship; museums; cultural, visual and performing art centers; transit centers; government functions open to the public; and, other uses as determined by the Zoning Administrator.

### **CIVIC BUILDINGS**

Those buildings that house CIVIC USES located on the sites designated on the REGULATING PLAN. CIVIC BUILDINGS and PUBLIC ART are situated at prominent locations within the **Columbia Pike Special Revitalization District**. Publicly owned CIVIC BUILDINGS and publicly owned PUBLIC ART are not subject to the BUILDING ENVELOPE STANDARD prescriptions of this Code.

### **COMMON LOT LINES**

LOT lines shared by adjacent private LOTS.

### **DORMERS**

Small, roofed ancillary structures with windows providing light and air to occupiable space within the roof. DORMERS are permitted and do not constitute a STORY so long as they do not break the primary EAVES line, are individually less than 15 feet wide, and are collectively not more than 60 percent of the unit's REQUIRED BUILDING LINE facade.

#### **EAVE HEIGHT**

Where used to limit building height in the Code, EAVE height shall be measured at the bottom of the top layer of roofing material at its outermost point from the building wall.

#### **FENESTRATION**

An opening in the building wall allowing light and views between interior and exterior. FENESTRATION is measured as glass area (excluding window frame elements with a dimension greater than 1 inch) for conditioned space and as open area for parking structures or other un-conditioned, enclosed space.

#### **GARAGE ENTRY**

An opening (with curb cut) in the building façade and/or STREET WALL where vehicles may enter into the BLOCK interior for general parking and business servicing. GARAGE ENTRYS (excluding those existing prior to December 31, 2002) shall not exceed 16 feet clear height and 24 feet clear width and shall not be sited within 100 feet of the BLOCK CORNER or another GARAGE ENTRY on the same BLOCK. GARAGE ENTRY portals may be set back up to 24 inches behind the surrounding façade.

#### **GARDEN WALL**

A masonry wall defining a REQUIRED BUILDING LINE, property line or delineating a private area. Shall be set back (or forward) not more than 8 inches from the alignment specified in the REGULATING PLAN or BES. A vehicle entry gate (opaque and maximum 12 feet wide) and a pedestrian entry gate (maximum 6 feet wide) are both allowed as limited substitutions within any required GARDEN WALL length.

#### **GROUND FLOOR, GROUND STORY**

The first level of MAIN STREET and LIVE/WORK SITE buildings where at least 80 percent of the finished floor elevation is within 18 inches of the adjacent fronting sidewalk level. The next STORY above the GROUND STORY is the second floor. (When a residential use occupies the GROUND FLOOR it shall be 30 to 60 inches above the fronting sidewalk elevation, as indicated in the BUILDING ENVELOPE STANDARDS.)

#### **HISTORIC FACADES**

The facades of buildings that have historic value as designated in this Code and/or are identified on the REGULATING PLAN or designated by the County as historic landmarks or structures pursuant to Section 31A of the Zoning Ordinance. HISTORIC FACADES shall be preserved.

#### **HISTORIC PRESERVATION**

HISTORIC PRESERVATION can be conducted through two means: a preservation easement on the structure or façade can be recorded with the Northern Virginia Conservation Trust or the site can be designated as a local historic landmark by the Arlington County Board.



### **HISTORIC STRUCTURES**

Those buildings of historic value as designated in this Code and/or are identified on the REGULATING PLAN or designated by the County as historic landmarks or structures pursuant to Section 31A of the Zoning Ordinance. HISTORIC STRUCTURES shall be preserved.

### **LIVE/WORK**

A structure that is specifically built (or altered) to accommodate retail or office commercial uses on the GROUND FLOOR and residential uses on the upper floors. Both the lower and upper levels may be occupied by the same user; however, it is not a requirement for this designation.

### **LOCAL STREET BUILDING**

Buildings as defined in the BUILDING ENVELOPE STANDARD for LOCAL STREET SITES.

### **LOT**

A designated parcel, tract or area of land having its principal frontage upon a STREET or a place permitted under the subdivisions ordinance and established by plat or subdivision or as otherwise permitted by law to be used, developed or built upon as a unit.  
(Ord. No. 90-14, 6-28-90)

### **MAIN STREET BUILDING**

Buildings as defined in the BUILDING ENVELOPE STANDARD for MAIN STREET SITES.

### **NEIGHBORHOOD STREET BUILDING**

Buildings as defined in the BUILDING ENVELOPE STANDARD for NEIGHBORHOOD STREET SITES.

### **PARAPET**

Where used to limit building height in the Code, PARAPET height shall be measured at the top of the PARAPET, including any coping. An additional 3 feet in height by 12 feet in width (or 15 percent of the façade, whichever is greater) is permitted for a section of the PARAPET emphasizing the building's main STREET entry or a BLOCK CORNER. Any variations regarding building heights should be reviewed under the Use Permit Option with the County Board making the final determination.

### **PARKING, RESERVED**

Parking not available to the public, but only to specifically identified users (either a single user per space or a set of users for a group of spaces), whether for free or at a fee that shall not exceed the prevailing market rate.

### **PARKING, SHARED**

Parking available to the public on an unreserved basis for free or at the same fee for all users, which shall not exceed the prevailing market rate. Time limits may be imposed to ensure turn-over. Hours of public availability may also be restricted.

### PEDESTRIAN PATHWAY

Interconnecting paved ways that provide pedestrian and bicycle passage through BLOCKS running from a STREET to either a STREET, ALLEY or an interior BLOCK parking area. The area within a PEDESTRIAN PATHWAY shall be a public access easement or public right of way. The easement width for these pathways shall not be less than 20 feet with a paved walkway not less than 10 feet wide, except where otherwise specified on the REGULATING PLAN, and shall provide an unobstructed view straight through their entire length.

### PRIVACY FENCE

An opaque fence made of wood or masonry (not chain link or any other type of rolled fence) along ALLEYS and COMMON LOT LINES (where more than 10 feet away from the REQUIRED BUILDING LINE). PRIVACY FENCES shall be 7 feet tall, as measured from the adjacent ground.

### PUBLIC ART

Art that is visually or physically accessible to the public and that is acquired by County funds, donated to the County, or provided by a private entity as a community benefit. PUBLIC ART encompasses the broadest definition of visual art including the imaginative use and interplay of artistic disciplines.

### REGULATING PLAN

Part of the Code that is the coding key for the BUILDING ENVELOPE STANDARDS that provide specific information for the disposition of each building site. The REGULATING PLAN also shows how each site relates to adjacent STREETS, the overall **Columbia Pike Special Revitalization District**, and the surrounding neighborhood.

### REQUIRED BUILDING LINE (RBL)

The building shall be built-to the REQUIRED BUILDING LINE (RBL) as shown on the REGULATING PLAN. The RBL is a requirement, not a permissive minimum as is a set-back. The RBL for each site is shown on the applicable REGULATING PLAN. The minimum length of building that is required to be built-to the RBL is shown on the appropriate BUILDING ENVELOPE STANDARD.

### SIDEWING

The portion of a building extending along a side LOT line toward the ALLEY or rear of the LOT.

### STOOP

An entry platform on the RBL side of a building. STOOPS may be roofed, but they shall not be enclosed.

### STORY, STORY HEIGHT

That space within a building, and above adjacent RBL elevation, that is situated between one floor level and the floor level next above, or if there is no floor above, the ceiling or roof above. STORY HEIGHT parameters are as specified by the appropriate BUILDING ENVELOPE STANDARD.

### STREET

Includes all public space (STREETS, SQUARES, PEDESTRIAN PATHWAYS, CIVIC GREENS, parks)—including any transit service operator passenger platform—but not GARAGE ENTRYS or ALLEYS.

### STREET FRONTAGE

The LOT line coincident with the RBL or that portion of the building that is coincident with the RBL as required by the Code.

### STREET LIGHT

A luminaire installed on both sides of STREETS, along the STREET TREE ALIGNMENT LINE, unless otherwise designated on the REGULATING PLAN, at intervals of no more than 60 feet, measured parallel to the STREET. STREET LIGHTS shall be between 9 and 16 feet above ground in height. Lighting standards for STREETS and ALLEYS should be developed to meet the minimum standards of the *Illumination Engineering Society* (with the design criteria giving equal weight to the lighting of the pedestrian areas and the automobile areas).

### STREETSCAPE

Improvements to a property, including paving, tree and/or other decorative plantings, lighting, and the placement of street furniture, within the STREET.

### STREET TREE

A deciduous canopy shade tree as required per the REGULATING PLAN and listed in the **Form Based Code** STREET TREE LIST. STREET TREES shall be of a proven hardy and drought tolerant species, large enough to form a canopy with sufficient clear trunk to allow traffic to pass under unimpeded. STREET TREES shall be planted and spaced 25 to 30 feet on center. Where necessary, spacing allowances may be made to accommodate curb cuts, fire hydrants and other infrastructure elements. At no time may spacing exceed 45 feet on center.

### STREET TREE ALIGNMENT LINE

A line along which STREET TREES are to be planted. The STREET TREE ALIGNMENT LINE is parallel with the STREET or SQUARE right of way and, unless otherwise specified in the appropriate REGULATING PLAN, is 4 feet from the back of the curb. (Existing trees are not required to be relocated by this requirement.)

### STREET WALL

A masonry wall set back (or forward) not more than 8 inches from the RBL or adjacent building façade and built to the height specified in the BUILDING ENVELOPE STANDARDS. A vehicle entry gate (opaque, maximum 18 feet wide) and a pedestrian entry gate (maximum 6 feet wide) are both allowed as limited substitutions within any required STREET WALL length.

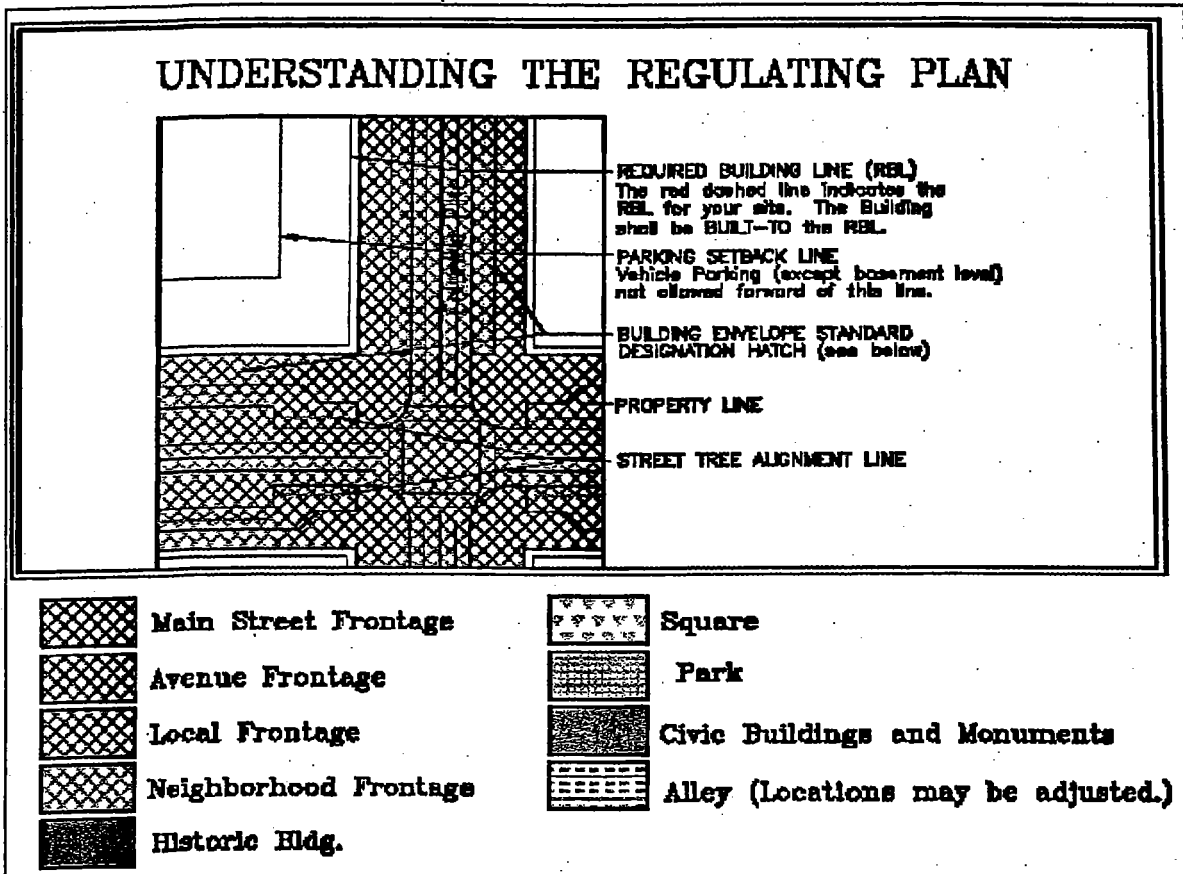
**"WHERE CLEARLY VISIBLE FROM THE STREET"**

Many requirements of the Code apply only where the subject is "CLEARLY VISIBLE FROM THE STREET." Note that the definition of STREET includes SQUARES, CIVIC GREENS, parks, and all public space except ALLEYS. A building element more than 30 feet from the RBL/STREET (such as items facing a COMMON LOT LINE more than 31 feet away from a RBL and/or STREET) is by definition NOT CLEARLY VISIBLE FROM THE STREET. Also common and/or party walls are by definition NOT CLEARLY VISIBLE FROM THE STREET.

### III. The Regulating Plans

#### A. Understanding the REGULATING PLAN

A REGULATING PLAN provides standards for the disposition of each property or LOT and how each relates to its adjacent properties and STREETS. Following the adoption of the ***Columbia Pike Initiative—A Revitalization Plan*** in March 2002 and the Columbia Pike Urban Design Charrette and citizen planning workshops held in September 2002 and any future addenda, REGULATING PLANS have been produced for the **Columbia Pike Special Revitalization District** in Arlington County.



BUILDING SITES ARE CODED BY THEIR STREET FRONTAGE

The key above explains the elements of the REGULATING PLAN and serves as a reference when examining the REGULATING PLAN.

The REGULATING PLAN is the principal tool for implementing the ***Columbia Pike Special Revitalization District Form Based Code*** and identifies the basic physical characteristics of each building site and the BUILDING ENVELOPE STANDARD (BES) assigned to it.

## **B. Rules for New Development Plans**

### **1. BLOCKS/ALLEYS**

- A. All LOTS shall share a frontage line with a STREET.
- B. All LOTS and/or all contiguous LOTS shall be considered to be part of a BLOCK for this purpose. No BLOCK face shall have a length greater than 400 feet without an ALLEY, common access easement or PEDESTRIAN PATHWAY providing through-access to another STREET, ALLEY or common access easement, STREETS, or conservation restricted land. Individual LOTS with less than 75 feet of frontage are exempt from the requirement to interrupt the BLOCK face; those with over 250 feet of frontage shall meet the requirement within their Lot.
- C. ALLEYS shall provide access to the rear of all LOTS. ALLEY construction is required as part of the redevelopment project within the rear setback, unless an ALLEY already exists.
- D. Where an ALLEY does not exist and is not constructed at the time of redevelopment of any property, the developer is required to dedicate the ALLEY right of way within the rear setback to the County, and until the County builds the ALLEY, maintain the area within the rear setback by, at a minimum:
  - 1. Sodding and providing routine landscape maintenance to the area.
  - 2. Keeping the area clear of debris, stored materials, and vehicles.
- E. Curb Cuts shall be limited to no more than one per 200 feet of STREET FRONTAGE on MAIN STREET and AVENUE SITES.

### **2. BUILDINGS**

- A. The hierarchy of BUILDING ENVELOPE STANDARDS (BES), in descending order is: MAIN STREET SITES, AVENUE SITES, LOCAL SITES, NEIGHBORHOOD SITES.
- B. The maximum building floor-plate (footprint) is 30,000 square feet; beyond that limit a special exception is necessary. Large grocery stores may have a maximum GROUND FLOOR floorplate of 50,000 square feet.
  - 1. For each BLOCK, building(s) along the RBL shall present a complete and discrete vertical façade composition (e.g., a new façade design) at a maximum average STREET frontage length of 60 feet. Each façade composition shall include a functioning, primary STREET entry. (This may be satisfied through the use of shops for large floor-plate buildings.) Individual in-fill projects on LOTS with frontage of less than 100 feet are exempted from this requirement.

C. Consistent BUILDING ENVELOPE STANDARD (BES) sites shall front one another across STREETS. When separated by a SQUARE, CIVIC GREEN or park, building types from adjacent levels (one level difference) may face one another, unless otherwise indicated on the REGULATING PLAN. For example, LOCAL SITES may face NEIGHBORHOOD SITES and/or AVENUE SITES across a CIVIC GREEN—but may not face MAIN STREET SITES, unless otherwise indicated on the REGULATING PLAN.

D. When separated by an ALLEY, common access easement, COMMON LOT LINE and/or when fronting different STREETS (e.g., a corner LOT and its adjacent LOT), BUILDING ENVELOPE STANDARD types from any category may sit adjacent or share a COMMON LOT LINE, provided that they do not face across a STREET, unless otherwise indicated on the REGULATING PLAN.

E. When the BUILDING ENVELOPE STANDARD designation changes along a property frontage, the property owner has the option of applying either BUILDING ENVELOPE STANDARD (BES) for a maximum additional distance of 50 feet in either direction along that frontage.

### 3. STREETSCAPE

A. STREET TREES shall be planted at the time of development and spaced 25 to 30 feet on center. Where necessary, spacing allowances may be made to accommodate curb cuts, fire hydrants and other infrastructure elements.

B. STREET LIGHTS shall be installed on both sides of streets along the STREET TREE ALIGNMENT LINE and unless otherwise designated on the REGULATING PLAN, at no more than 60 foot intervals measured parallel to the STREET. At the time of development, the developer is only responsible for the installation of STREET LIGHTS on the side(s) of the STREET being developed.

C. At the time of development, the developer is required to install sidewalks. Sidewalks shall not be constructed entirely of plain poured concrete. A variety of paving materials, textures, and colors are encouraged. Consistency of paving design is required within a project and within a BLOCK.

### 4. PARKING

A. Parking goals:

- Enable people to park once at a convenient location and to access a variety of commercial enterprises in pedestrian friendly environments by encouraging SHARED PARKING.
- Reduce diffused, inefficient, single-purpose reserved parking.
- Avoid adverse parking impacts on neighborhoods adjacent to redevelopment areas.
- Maximize on-street parking.
- Increase visibility and accessibility of parking.

- Provide flexibility for redevelopment of small sites and for the preservation of historic buildings.
  - Promote early prototype projects using flexible and creative incentives.
- B. Sites under 20,000 square feet in land area have no minimum parking requirements.
- C. Sites over 20,000 square feet in land area have the following requirements.
1. A minimum of 1 and 1/8 parking space per residential unit, of which a minimum of 1/8 parking space per residential unit shall be provided as shared parking. There are no maximum limits on SHARED PARKING.
  2. A minimum of one space per 1,000 square feet of non-residential Gross Floor Area (GFA) shall be provided as SHARED PARKING; there are no set maximum limits on SHARED PARKING. New on-street parking spaces created in conjunction with the development, which did not previously exist, may be counted toward the minimum requirement for SHARED PARKING. Any limitations on the SHARED PARKING (time limits or hours of the day) shall be subject to approval by the Zoning Administrator which shall be given upon a finding that at least 12 hours of public parking are provided in any 24-hour period and that at least 8 of those hours are provided during either business or nighttime hours depending whether the Zoning Administrator determines that the primary public use will be for commercial or residential uses.
  3. A maximum of one space per 1,000 square feet of non-residential GFA or two spaces per residential unit may be made available for RESERVED PARKING.
  4. RESERVED PARKING above the maximum may be provided upon payment to the County. The County Manager shall establish the amount of payment annually based on the approximate cost to build structured parking.
- D. Achieving parking requirements:
1. Parking requirements may be met either on-site or within the parking zone in which the development is located.
  2. In lieu of minimum parking requirements, the County may accept a one-time payment per each space of SHARED PARKING. The County Manager shall establish the amount of payment annually based on the approximate cost to build structured parking.
  3. Incentives from the *Tax Increment Public Infrastructure Fund (TIPIF)* may be used, in accordance with approved TIPIF policy, for eligible projects to meet SHARED PARKING requirements.



**E. Bicycle Parking:**

1. For office development, the developer must provide 1 employee bicycle parking rack (2-bike capacity) per 7,500 square feet of GFA and 1 visitor/customer bicycle parking rack (2-bike capacity) per 20,000 square feet of GFA.
2. For residential development, the developer must provide 1 tenant bicycle parking rack (2-bike capacity) per 10 units and 1 visitor bicycle parking rack (2-bike capacity) per 50 units.
3. For retail development, the developer must provide 1 employee bicycle parking rack (2-bike capacity) per 5,000 square feet of GFA and 1 visitor/customer bicycle parking rack (2-bike capacity) per 12,500 square feet of GFA.
4. All bicycle parking facilities are to be highly visible to intended users and protected from rain and snow within a structure. The bicycle parking facilities shall not encroach on any area in the public right of way intended for use by pedestrians, nor shall they encroach on any required fire egress.
5. On-street bicycle parking spaces (as defined in VI.G, page 51) may be counted toward the minimum customer/visitor bicycle parking requirement.

**F. SHARED PARKING** shall be designated by appropriate signage and markings as required by County policy.

**5. RETAIL**

Generally, retail is required on the GROUND STORY of MAIN STREET SITES and, to a lesser degree, on LOCAL SITES. The inclusion of retail enlivens the STREET and creates a purpose for being there.

Unless otherwise noted, retail is an inclusive phrase that encompasses consumer comparison goods (general merchandise, apparel, furnishings and other types of similar merchandise—commonly referred to as GAFO categories in the retail industry—convenience goods, food/delis, gifts, drugstore items, personal care, cards/stationery), personal business services, professional offices, restaurants, grocery stores, and hotel, theater, and other uses that provide visual interest and create active street life. Other uses, which in the judgement of the Zoning Administrator are of the same general character as those listed below and will not be detrimental to the district in which it is to be located, may be allowed.

- **Primary Retail Uses:** Generally, uses that provide entertainment or leisure activities, promote high walk-in customer counts, or are shopping destinations.
- **Secondary Retail Uses:** Generally, uses that provide personal or business services.

<b>Primary Retail</b>	
Art or antique shop, including art work, art supplies and framing materials	Meat or fish market
Bakery	Newsstand
Pet shop	Nursery, flower, or plant store
Book, stationery, or card store	Optical store (operating as a commercial enterprise with incidental eye exam)
Clothing shop	Restaurant
Coffee shop	Secondhand or consignment shop
Delicatessen	Shoe store
Department, furniture, home furnishings, or household appliance store	Specialty food store (fish market, breads, pastries, wine, etc.)
Drugstore	Sporting goods store
Dry goods or notion store	Variety store
Florist or gift shop	DVD/Video tape or record store
Grocery, fruit, or vegetable store	Day spa
Hardware, paint, or appliance store	Electronics store
Hobby or handcraft store	<b>*With Special Exception Use Permit</b>
Ice cream or confectionery store	Amusements
Indoor theaters	Bowling alley
Interior decorating store (with incidental interior service)	Nightclubs and restaurants with live entertainment or dancing
Jewelry store	Restaurant with drive-through window
Leather goods/luggage	Self-Storage facilities

<b>Secondary Retail</b>	
Animal hospital or veterinary clinic within a fully enclosed structure	Private postal service
Automobile rental (retail functions only—no auto servicing) or automobile accessories and supplies (excluding installation)	Shoe or small appliance repair shop
Bank or other financial institution (including check cashing)	Tailor or dressmaker
Barbershop or beauty salon	Tax service
Blueprinting, photostatting, or photo copy service	Trade or commercial school
Business college operated as a commercial enterprise	Photo studio
Catering establishment	Sign painting shop
Clothes cleaning or laundry establishment	Trade or commercial school
Dance studio	
Employment agencies	<b>*With Special Exception Use Permit</b>
Film processing or film exchange	Audio-visual production studio
Health club	Automobile service station
Insurance sales	Carpet and rug cleaning (excluding dying)
Locksmith	Food delivery service
Medical or dental offices, clinics or laboratories	Miniature golf course
Music conservatory or music instruction	Mortuary or funeral home
Office (such as real estate broker, travel agency, medical, etc)	Tire shop
Palmistry	Upholstery shop
Pawnshop	
Photo studio	
Printing, lithographing, or publishing	

## 6. HISTORIC PRESERVATION

Certain HISTORIC STRUCTURES and HISTORIC FACADES are viewed as integral to the current and future identity of Columbia Pike. These historic resources are to be preserved (see HISTORIC PRESERVATION, pg. 6) through the use of local incentives, as well as Federal and/or State Historic Tax Credits.

### HISTORIC STRUCTURES

Sites containing HISTORIC STRUCTURES may be redeveloped under the Code subject to any special provisions that apply to the site in the REGULATING PLAN and administrative review by the Arlington Historical Affairs and Landmark Review Board (HALRB). When located on any site that is redeveloped pursuant to this Code, HISTORIC STRUCTURES shall be preserved (see HISTORIC PRESERVATION, pg. 6) in their entirety and shall not be subject to the BUILDING ENVELOPE STANDARD prescriptions of this Code.

The following properties are HISTORIC STRUCTURES

- 2338-2344 and 2408 Columbia Pike, commercial buildings
- 2500-2530 Columbia Pike, Arlington Village Shopping Center
- 2624 Columbia Pike, Arlington Animal Hospital
- 2628 Columbia Pike, Birds N' Things
- 2900 Columbia Pike, Old Dominion Bank/Blanca's Restaurant
- 2903 Columbia Pike, Arlington Theater
- 3014 Columbia Pike, Charles Building
- 805 South Walter Reed Drive, Fillmore Gardens Apartments *(The portion of the property south of 9<sup>th</sup> Street may be redeveloped, on the condition that preservation (see HISTORIC PRESERVATION, pg. 6) is implemented for the portion north of 9<sup>th</sup> Street.)*

### HISTORIC FACADES:

Sites incorporating HISTORIC FACADES may be redeveloped under the Code subject to any special provisions that apply to the site in the REGULATING PLAN or in this section and administrative review by the Arlington Historical Affairs and Landmark Review Board (HALRB). When located on any site that is redeveloped pursuant to this Code, HISTORIC FACADES shall be preserved (see HISTORIC PRESERVATION, pg. 6) and shall not be subject to the BUILDING ENVELOPE STANDARD prescriptions of this Code.

The following properties contain HISTORIC FACADES:

- 2801-2811 Columbia Pike and 927 South Walter Reed, Elkins Building
- 900 block of South Walter Reed Drive, commercial buildings
- 2906-2922 Columbia Pike, Arlington Hardware

In order to better incorporate HISTORIC STRUCTURES and HISTORIC FACADES into redevelopment scenarios, the following are allowable modifications to the **Form Based Code** requirements.

- HISTORIC STRUCTURES and HISTORIC FAÇADE buildings have no minimum parking requirements (redevelopment is not required to obtain this exemption).
- Redevelopment projects incorporating HISTORIC STRUCTURES and HISTORIC FACADES are exempt from the County's parking requirements for that portion of the project that includes the historic property.
- Siting and elements requirements of the BUILDING ENVELOPE STANDARDS can be modified for that portion of any redevelopment project that includes a HISTORIC STRUCTURE or HISTORIC FAÇADE that is preserved.

Optional exceptions:

1. Two additional STORIES are permitted on the remainder of the site, provided overall building height is within the maximum (in feet) for the site.

For example, on a MAIN STREET SITE, the maximum height is 6 STORIES, the equivalent to 94 feet under the **Form Based Code**. (Maximum floor heights are 24 ft., 14 ft., 14 ft., 14 ft., 14 ft., 14 ft.) So an additional two STORIES are permitted, but overall building height cannot exceed 94 feet.

2. Developers are exempted from constructing certain STREETScape improvements, including:
  - Utility undergrounding
  - Provision of street furniture
  - Provision of PUBLIC ART
  - Provision of CIVIC GREENS and SQUARES

Developers are required to obtain a Certificate of Appropriateness from the Historical Affairs and Landmarks Review Board (HALRB) for projects involving the identified HISTORIC STRUCTURES and HISTORIC FACADES listed above prior to application submission.

## 7. PUBLIC IMPROVEMENTS

Within the **Columbia Pike Special Revitalization District**, the developer/property owner is required to construct and maintain all **STREETSCAPE** improvements according to the **Streetscape Standards** in Section V as part of the redevelopment project.

Examples of **STREETSCAPE** improvements required as part of redevelopment include:

- Installing sidewalks, to include curbs and gutters, as indicated by the **REGULATING PLAN** and **Typical Street Cross Section**.
- Undergrounding utilities, where not already done.
- Installing street furniture: benches, trash receptacles, bicycle racks, etc.
- Installing **STREET TREES** and **STREET LIGHTS** as prescribed herein.
- Constructing other public spaces, such as **GREENS** and **SQUARES** or **ALLEYS**, where indicated on the **REGULATING PLAN**.
- Dedicating public access easements.
- Providing **PUBLIC ART**, as indicated in the *Public Art Master Plan* (when adopted).

## **C. REGULATING PLANS**

The following pages contain the REGULATING PLANS for the Columbia Pike Revitalization Districts.

## IV. Building Envelope Standards

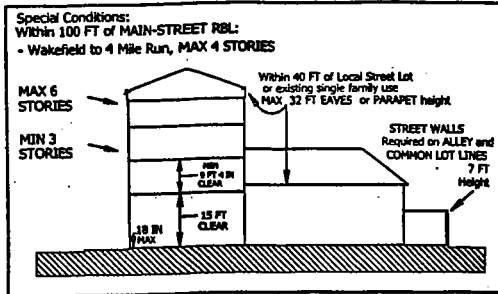
The REGULATING PLAN identifies the BUILDING ENVELOPE STANDARDS (BES) for all building sites within the **Columbia Pike Revitalization District**. The goal of the BUILDING ENVELOPE STANDARDS is the creation of a healthy and vital public realm through good STREET space. Deviations from the BUILDING ENVELOPE STANDARDS can be approved through a Special Exception Process as provided for in the **Chapter VII. Administration** of this Code and in Sections 20 and 36 of the Zoning Ordinance. The BUILDING ENVELOPE STANDARDS set the basic parameters governing building construction, including the building envelope (in three dimensions) and certain required/permitted elements, such as BALCONIES, STOOPS, and STREET WALLS.

### A. General Guiding Principles

1. Buildings are aligned and close to the STREET.  
Buildings form the space of the STREET.
2. The STREET is a coherent space, with consistent building forms on both sides of the STREET.  
This agreement of buildings facing across the STREET contributes to a clear public space and community identity.
3. Buildings oversee the STREET (and SQUARE) with active fronts.  
This overview of the STREET contributes to vital and safe public space.
4. Property lines are physically defined by buildings or STREET WALLS.  
Land should be clearly *public* or *private*—in public view and under surveillance or private and protected.
5. Buildings are designed for towns and cities.  
Rather than being simply pushed closer together, as in many sub-urban developments, buildings must be designed for the urban situation within towns and cities. Views are directed to the STREET and the garden/court-yard, not toward the neighbors.
6. Vehicle storage, garbage and mechanical equipment are kept away from the STREET.
7. Retail on the GROUND FLOOR (for MAIN STREET locations).  
Retail helps to make the STREET active and interesting.
8. Parking (not including on-street parking) should be away from the STREETS and shared by multiple owners/users.
9. Historic Character.  
Those structures that have historic character should be preserved in some manner or their elements incorporated in the redevelopment of their site.



## B. BUILDING ENVELOPE STANDARDS: MAIN STREET SITES



Height Specifications

### Height Specifications

#### Building Height

1. Principal building height is measured in stories. These parameters preserve appropriate street-space and allow for greater variety in building height.
2. Each building shall be between 3 and 6 stories in height, except where otherwise noted here or in the REGULATING PLAN.

#### Parking Structure Height

No parking structure within the block shall exceed the eave height of any building (built after 2002) within 40 feet of the parking structure.

#### GROUND STORY Height

1. The ground story floor elevation shall be between 6 inches below and 24 inches above the sidewalk elevation at the front of the building. The maximum floor-to-floor story height limit for the ground floor is 24 feet.
2. The ground floor shall have at least 15 feet clear (floor to ceiling) height for at least 1/3 of its area contiguous to RBL frontage.

#### Upper Stories Height

1. The maximum floor-to-floor story height limit for stories other than the Ground Story is 14 feet.
2. At least 80 percent of the upper stories shall each have at least 9 feet 4 inches clear (floor to ceiling) height.

#### Mezzanines and Podiums

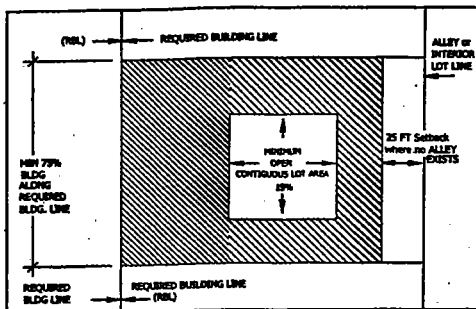
Mezzanines and podiums greater than 2/3 of the floor area footprint shall be counted as full stories.

#### Street Wall Height

1. Any unbuilt alley and/or common lot line frontage shall have a street wall built along it, 7 feet in height.
2. Street wall heights are measured relative to the adjacent sidewalk or to the ground elevation when not fronting a sidewalk.

#### Other

Where a Main-Street site is within 40 feet of a Local Site, Neighborhood Site or a single-family home, the maximum height for that portion is 32 feet to the EAVES OF PARAPET.



Siting Specifications

### Siting Specifications

#### Street Facade

1. The Street facade shall be built to not less than 75 percent of the overall RBL. However, the ground floor portions of the Street facade within 7 feet of a Block Corner are exempt from this requirement in order to allow special corner treatments in these areas.
2. The Street facade shall be composed as a simple plane (limited jogs less than 24 inches are considered a simple plane within this requirement) interrupted only by porches, stoops, bay windows, shopfronts, and balconies.

#### Buildable Area

Buildings shall occupy only the area of the lot specified in the siting specifications of the building envelope standards as buildable area. No part of any building excepting overhanging eaves and BES permitted balconies, bay windows, stoops, and shopfronts shall encroach into the street beyond the RBL. No part of any building (excepting overhanging eaves, balconies, stoops, and small and unroofed garden structures) shall occupy the remaining lot area. The minimum open contiguous area shall comprise at least 15% of the total Buildable Area and can be located anywhere within the Buildable Area of the site.

#### Side Lot Line

There are no required side lot line setbacks unless shared with an existing single family house where an 8-foot setback is required.

#### Garage and Parking Entrances

1. Garage/parking entrances shall be no closer than 50 feet from any building corner or 100 feet from any block corner (except where otherwise designated on the REGULATING PLAN).
2. Designated GARAGE ENTRIES and ALLEYS shall be the sole means of automobile access to a site.
3. Garage doors shall not face (be at an angle of less than 90 degrees from the RBL or right of way) the RBL. Vehicle parking areas (except where a street wall exists or parking is enclosed within an ancillary building) on private property shall not be located within 25 feet of the RBL. These requirements are not applicable to on-street parallel parking.

#### Alleys

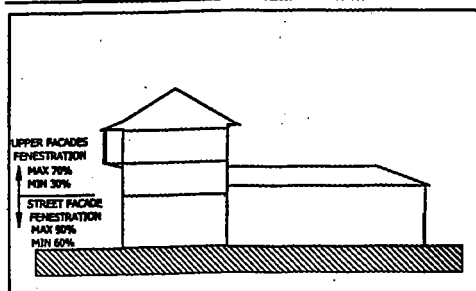
On sites with no alley access, there shall be a 25-foot setback from the rear lot line.

#### Corner Lots

Corner lots shall be treated as having street frontage on both the front and side streets (or RBLs).

#### Unbuilt RBL and Common Lot Line Treatment

Any unbuilt RBL shall have a street wall along it, between 6 feet and 10 feet in height. Street walls may also be constructed along any unbuilt common lot line.



Elements Specifications

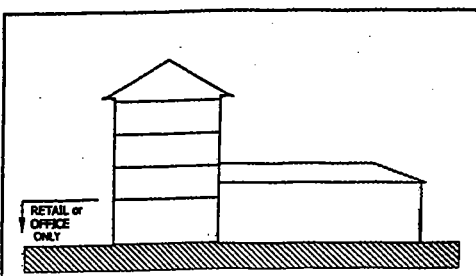
### Elements Specifications

#### GROUND STORY-FENESTRATION

The ground story facade shall have between 60 percent and 90 percent fenestration (measured as a percentage of the facade that is between 2 and 10 feet above the fronting sidewalk). Awnings and overhangs are encouraged (except where otherwise designated on the REGULATING PLAN).

#### Upper Stories-Fenestration

Upper story facades shall have between 30 percent and 70 percent fenestration (measured for each story as a percentage of the facade that is between 3 and 9 feet above the finished floor).



Use Specifications

### Use Specifications

#### GROUND STORY

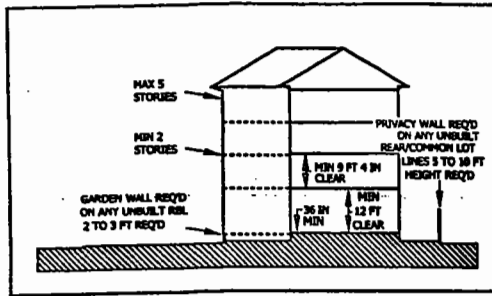
1. The ground story shall house retail uses as defined on page 17-18 as well as lobby and access for upper story uses.
2. There shall be functioning entry door(s) along the street facade at intervals not greater than 60 feet within any site.

#### Upper Stories

Retail uses are not permitted on the upper stories (except those of less than 900 square feet and/or second stories as an extension of the ground story

use and with direct Columbia Pike frontage). Second story restaurants do not violate this rule. Business and professional offices including medical, legal, insurance, philanthropic, real estate, banking, and other offices which in the judgement of the Zoning Administrator with a recommendation from the Administrative Review Team are of the same general character as those listed above may be located on all floors of Main Street sites.

## C. BUILDING ENVELOPE STANDARDS: AVENUE SITES



Height Specifications

### Height Specifications

#### Building Height

1. Principal building height is measured in stories.
2. Buildings shall be between 2 and 5 stories in height, except where otherwise noted here or in the REGULATING PLAN.

#### Parking Structure Height

No parking structure within the block shall exceed the eave height of any building (built after 2002) within 50 feet of the parking structure.

#### Ground Story Height

1. The ground story finished floor elevation of any residential unit shall be no less than 36 inches above the fronting sidewalk.
2. The maximum floor-to-floor story height limit for the ground floor story is 24 feet.
3. No less than 80 percent of the ground floor story shall have at least 12 feet in clear height.

#### Upper Story Height

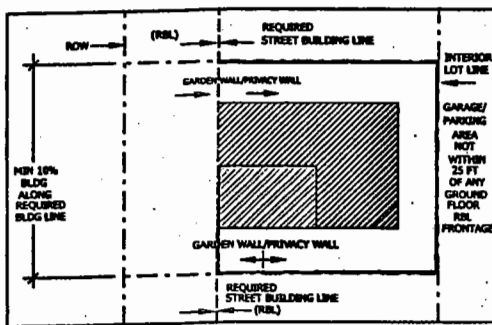
1. The maximum floor-to-floor story height limit for upper floors is 14 feet.
2. At least 80 percent of each upper story shall have at least 9 feet 4 inches clear (floor to ceiling) height.

#### Mezzanines and Podiums

Mezzanines and podiums greater than 1/3 of the floor area footprint shall be counted as a full story.

#### Other

Where any part of an Avenue site is within 40 feet of a Local Street (or lesser) site or an existing single family use dwelling, the maximum height for that portion is 32 feet to the eaves or parapet.



Siting Specifications

### Siting Specifications

#### Street Facade

1. The street facade shall be built to the RBL not less than 10 percent of the overall RBL.
2. That portion of a facade that is required to be built to the RBL shall be composed as a simple plane (limited jogs less than 18 inches are considered a simple plane within this requirement) interrupted only by porches, stoops, bay windows, shopfronts, and balconies.

#### Buildable Area

Buildings shall occupy only the area of the lot specified in the siting specifications of the Building Envelope Standard as buildable area. The diagram above provides a sample building footprint. No part of any building excepting overhanging eaves and BES permitted balconies, bay windows, stoops, and shopfronts shall encroach into the street beyond the RBL. No part of any building (excepting overhanging eaves, balconies, stoops, and small and unroofed garden structures) shall occupy the remaining lot area. The minimum open contiguous area shall comprise at least 30% of the total Buildable Area and can be located anywhere within the Buildable Area of the site.

#### Side Lot Line

There are no required side setbacks unless shared with an existing single family house where an 8-foot setback is required.

#### Garage and Parking Entrances

1. Any garage and/or parking areas for vehicles (autos, trailers, boats, etc.)—except where parking is

located in an ancillary structure, enclosed in a rear-loading town-house garage, or in a below grade garage—on private property shall not be located within 25 feet from any RBL and shall be screened from the street by a street wall.

2. Parking access shall be from an alley where present. Designated garage entries and alleys shall be the sole means of automobile access to a site unless otherwise approved by the Zoning Administrator with a recommendation from the Administrative Review Team.
3. Garage doors shall not face (be at an angle of less than 90 degrees from the RBL or right of way) the RBL.
4. These requirements are not applicable to on-street parallel parking.

#### Alleys

On sites with no alley access, there shall be a 25-foot setback from the rear lot line.

#### Corner Lots

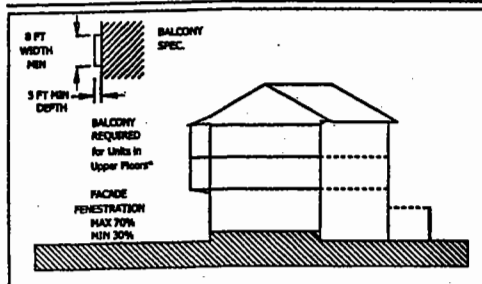
Corner lots shall be treated as having street frontage on both the front and side streets (or RBLs).

#### Unbuilt RBL, Rear and/or Common Lot Line Treatment

Any unbuilt RBL shall have a garden wall along it, between 2 feet and 3 feet in height. Any unbuilt rear or common lot line that is located more than 15 feet behind the RBL may have a privacy fence along it that is 7 feet in height.

#### Other

The Building Envelope Standards for Local Sites may be utilized on Avenue Sites.



Elements Specifications

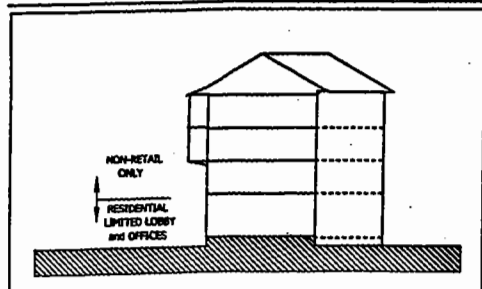
### Elements Specifications

#### Fenestration

Fenestration shall be between 30 percent and 70 percent of all RBL building facades (when measured as a percentage of the area of each facade and story between 3 and 9 feet above the finished floor). Blank lengths of wall along any RBL facade of more than 20 linear feet are prohibited.

#### Balconies

When provided, balconies are required to be a minimum of 5 feet deep and 8 feet wide (except where the RBL is within 8 feet of a right of way).



Use Specifications

### Use Specifications

#### Ground Story

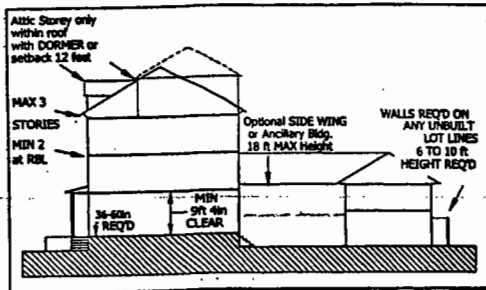
A ground floor may include residential uses and have small professional office, building lobby, or building manager's/maintenance offices (each less than 1,000 square feet). [Retail uses are permitted on a ground floor where the underlying zoning is zoned commercial "C" or where properties are zoned "CP-FBC"]

#### Upper Stories

Retail uses are not permitted on upper stories. However business and professional offices including

medical, legal, insurance, philanthropic, real estate, banking and other offices which in the judgement of the Zoning Administrator with a recommendation from the Administrative Review Team are of the same general character as those listed above may be located on the second floor.

## D. BUILDING ENVELOPE STANDARDS: LOCAL SITES



Height Specifications

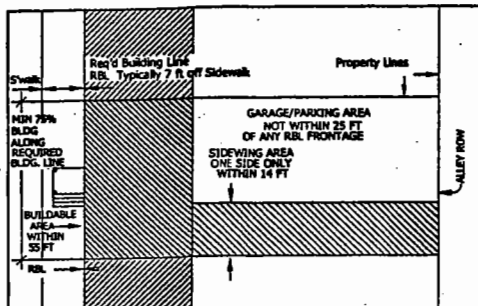
### Height Specifications

#### Building Height

1. Principal building height is measured in stories.
2. Each building shall be between 2 and 3 stories in height. Additionally, an attic story may be built. An attic or half story is any top story which achieves its minimum clear height between 8 and 12 feet behind the RBL. An attic or half-story may have dormer windows which face the street.

#### Ground Story Height

1. The first story finished elevation of any residential unit shall be between 36 and 60 inches above the fronting sidewalk. Where live-work is indicated as permissible on the Regulating Plan, the ground floor elevation of all live-work development shall be between 0 inches and 18 inches above the fronting sidewalk and have at least 12 feet in clear height for at least 1/3 of its area contiguous to RBL frontage.
2. The maximum floor to floor story height limit for the ground floor is 14 feet.
3. All STORIES shall have at least 9 feet 4 inches in clear height for at least 80 percent of their area.



Siting Specifications

### Siting Specifications

#### Street Facade

1. The Street facade shall be built to not less than 75 percent of the overall RBL. However, at the ground floor, portions of the Street facade within 7 feet of a Block Corner are exempt from this requirement in order to allow special corner treatments in these areas.
2. That portion of a facade that is required to be built to the RBL shall be composed as a simple plane (limited jogs less than 24 inches

are considered a simple plane within this requirement) interrupted only by porches, stoops, bay windows, shopfronts, and balconies.

#### Buildable Area

Buildings shall occupy only the area of the lot specified on the Regulating Plan as buildable area. No part of any building excepting overhanging eaves, and BES permitted balconies, bay windows, stoops, and shopfronts shall encroach into the street beyond the RBL. No part of any building (excepting overhanging eaves, balconies, stoops, and small and unroofed garden structures) shall occupy the remaining lot area. The minimum open contiguous area shall comprise at least 15% of the total BUILDABLE AREA and can be located anywhere within the BUILDABLE AREA of the site.

#### Side Lot Line

There are no required side setbacks unless shared with an existing single family house where an 8 foot setback is required.

#### Garage and Parking Entrances

1. Any garage and/or vehicle (autos, trailers, boats, etc.) parking areas - except where parking is located in an ancillary structure, enclosed in a rear-loading town-house garage, or in a below grade garage - on private property shall not be located within 25 feet of the RBL (except for basement garages) and screened from the street by a street wall.

#### Upper Stories Height

1. All stories shall have at least 9 feet 4 inches in clear height for at least 80 percent of their area.
2. The maximum floor to floor story height limit for upper stories is 12 feet.

#### Mezzanines and Podiums

Mezzanines or podiums greater than 2/3rd of the floor area footprint shall be counted as a full story.

#### Street Wall and Fence Height

1. Any unbuilt RBL shall have a STREET WALL built along it and any unbuilt common lot line shall have a privacy fence along it, 7 feet in height.
2. STREET WALL heights are measured relative to the adjacent sidewalk or ground elevation when not fronting a sidewalk.

#### Other

Where a part of a Local Site is within 40 feet of a Neighborhood Site existing single family use dwelling, the maximum height for any structure on that portion of the site is 32 feet to the eaves or parapet.

2. Parking access shall be from an alley where present. Designated GARAGE ENTRANCES and ALLEYS shall be the sole means of automobile access to a site, unless otherwise approved by the Administrative Review Team.

3. Garage doors shall not face (be at an angle of less than 90 degrees from the RBL or right of way) the RBL.

4. These requirements are not applicable to on-street parallel parking.

#### Alleys

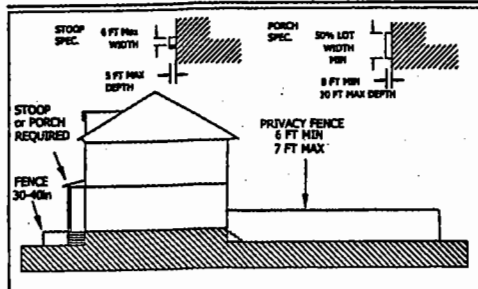
On sites with no alley access, there shall be a 12 foot setback from the rear lot line.

#### Corner Lots

Corner lots shall be treated as having street frontage on both the front and side-streets (or RBLs).

#### Lot/Unit Width

The lot/unit width shall be between 16 feet and 32 feet. No more than 1/3 of the units in any phase shall be less than 18 feet wide. A maximum of 7 units or 150 feet (whichever is greater) shall be contiguous as a single building. There shall be a 10 foot gap (gated) between multiple buildings.



Elements Specifications

### Elements Specifications

#### Stoops

Each LOT/UNIT shall include a stoop or not more than 5 feet deep and 6 feet wide (plus steps) which is required to be built forward of the (RBL) or a front porch, between 8 feet and 10 feet deep with a width not less than 50 percent of the RBL shall be added - with the building facade placed an additional 2 feet back from the STREET/RBL.

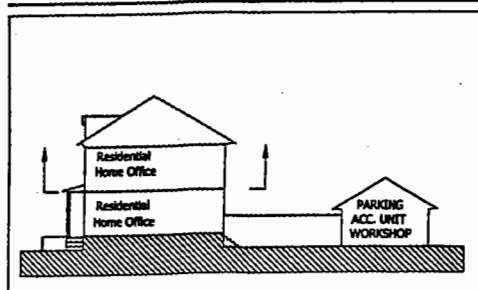
#### Fences/Garden Walls

A fence or GARDEN WALL, 30 to 40 inches in height, is permitted along the STREET FRONTAGE and along the

COMMON LOT LINES of the front yard. Opaque ornamental fencing (not including chain link or any other roll type fencing), between 6 and 7 feet in height, may be placed along any unbuilt rear and common lot lines.

#### Fenestration

Fenestration shall be between 30 percent and 70 percent of all RBL building facades (when measured as a percentage of the area of each facade and story between 3 and 8 feet above the finished floor). Blank lengths of wall along any RBL facade of more than 15 linear feet are prohibited.



Use Specifications

### Use Specifications

#### Ground Floor

A GROUND FLOOR may have residential and home office uses. Where a site is designated Live-Work, the ground floor may additionally have small professional office, building lobby, building manager's office, ancillary retail grocery, and cafe uses (each less than 1,200 sf).

#### Upper Stories

Upper stories shall be exclusively for residential and home occupations, as defined by the County. Where a site is designated Live-Work on the Regulating Plan, the second story may also include small professional office uses.

#### Accessory Units

1. One English basement unit or one ACCESSORY UNIT is permitted. Conversion of primary structure

single-family units for multiple family uses is prohibited.

2. Parking and accessory unit (maximum 650 sf) uses are permitted in the building area at the rear of the LOT.

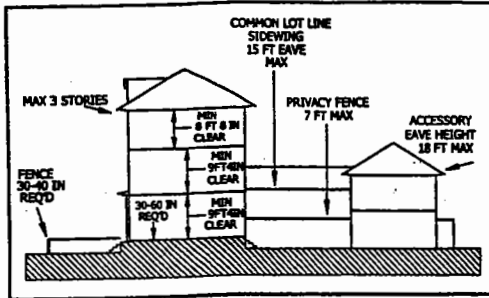
#### Garage/Parking

The garage/parking for vehicles (autos, trailers, boats, etc.) shall be located at least 25 feet away from any RBL (excepting basement garages).

#### The following requirements apply only to Live-Work Designated Sites

1. There is no front porch requirement.
2. There is no front yard fence requirement.
3. The ground story finished floor elevation shall be between 0 and 18 inches above the adjacent sidewalk elevation and the ground story shall have a clear height of between 12 and 19 feet.

## E. BUILDING ENVELOPE STANDARDS: NEIGHBORHOOD SITES



Height Specifications

### Height Specifications

#### Building Height

1. Principal building height is measured in stories.
2. The building shall be no more than 3 stories in height.
3. No accessory building shall be more than 18 feet to its eaves.

#### Ground Floor and Second Story Height

1. The ground floor finished elevation shall be between 30 and 60 inches above the average RBL elevation.
2. The maximum floor-to-floor story height for the ground floor story is 14 feet

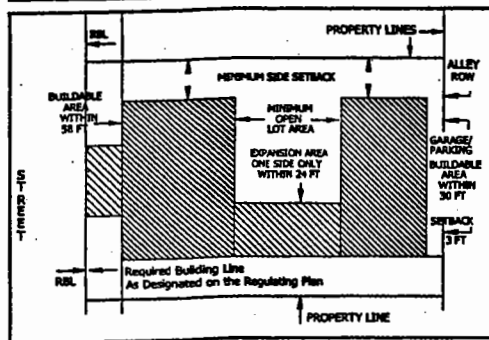
3. The ground floor story and second stories shall have at least 9 feet 4 inches in clear height for at least 80 percent of the area of the particular story.

#### Upper Stories Height

1. The maximum floor-to-floor story height for upper stories is 10 feet.
2. Each story above the second story shall have at least 8 feet 8 inches in clear height for at least 80 percent of its area.

#### Mezzanines and Podiums

Mezzanines or podiums greater than 2/3 of the floor area footprint shall be counted as full stories.



Siting Specifications

### Siting Specifications

#### Street Facade

1. The street facade shall be built to the RBL not less than 33 percent of the overall RBL.
2. That portion of a facade that is required to be built to the RBL shall be composed as a simple plane (limited jogs less than 18 inches are considered a simple plane within this requirement) interrupted only by porches, stoops, bay windows, shopfronts, and balconies.

#### Buildable Area

Buildings shall occupy only the area of the lot specified on the REGULATING PLAN as buildable area. No part of any building excepting overhanging eaves and BES permitted balconies, bay windows, and stoops shall encroach into the street beyond the RBL. No part of any building (excepting overhanging eaves, balconies, stoops, and small and unroofed garden structures) shall occupy the remaining lot area. The minimum open contiguous area shall comprise at least 30% of the total BUILDABLE AREA and can be located anywhere within the BUILDABLE AREA of the site.

#### Side Lot Line

The minimum side setback is 5 feet.

#### Garage and Parking Entrances

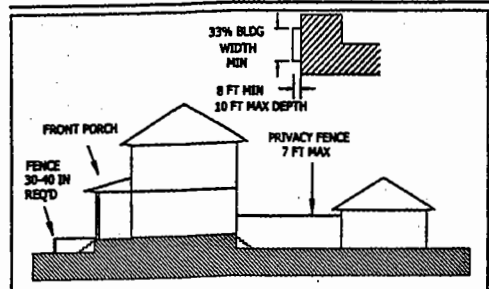
1. Designated GARAGE ENTRIES shall be the sole means of automobile access to a site, unless otherwise approved by the County.
2. Garage doors shall not face (be at an angle of less than 90 degrees from the RBL or street) RBL. Vehicle parking areas (except where a street wall exists or parking is enclosed within an ancillary building) on private property shall not be located within 25 feet of the RBL. These prohibitions are not applicable to on-street parallel parking.
3. Any garage or parking for vehicles (autos, trailers, boats, etc.) shall be kept within the area designated on the SITING SPECIFICATIONS diagram for NEIGHBORHOOD SITES. Garage or parking areas shall be set at least 25 feet behind the RBL.

#### ALLEYS

Where there is no ALLEY at the rear lot line, there shall be a 12-foot setback.

#### CORNER LOTS

Corner lots shall be treated as having STREET FRONTAGE on both the front and side streets (or RBLs).



Elements Specifications

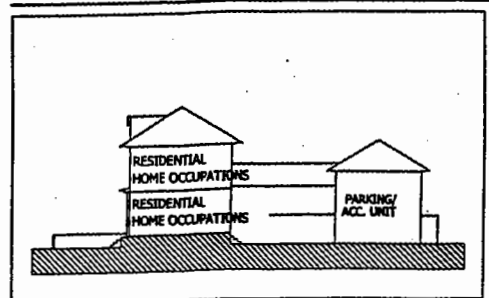
### Elements Specifications

#### Fences

1. An ornamental front yard fence (not to be chain link or any other type of rolled fencing), 30 to 40 inches in height, is required along the street frontage and common lot lines to at least 10 feet beyond the Required Building Line (RBL).
2. A PRIVACY FENCE 7 feet in height, may run the remainder of the rear and common lot lines (except within the front yard area which shall have a fence as designated above).

#### Front Porch

A front porch, between 8 feet and 10 feet deep with a width equal to no less than 33 percent of the total building width, is required along and in front of the RBL. For designated lots (see the REGULATING PLAN) the front porch is optional.



Use Specifications

### Use Specifications

1. Within the primary building permitted uses include: Home occupations as defined in the Zoning Ordinance (by-right with these exceptions: maximum 2 nonresident employees within the primary structure and/or maximum 1 nonresident employee within 1 accessory structure, for each lot.).
2. One English basement unit or one ACCESSORY UNIT is permitted. Conversion of primary structure single-family units for multiple family uses is prohibited.
3. Parking and accessory unit (maximum 650 square feet) uses are permitted in the building area at the rear of the lot.

## V. Streetscape Standards

The **Columbia Pike Special Revitalization District** sites are coded to be "perimeter BLOCKS" with buildings placed at the STREET along the outer edge of their sites. The **Streetscape Standards** ensure the coherence of those STREETS. They also serve to assist building owners and operators with understanding the relationship between the STREET and their own LOTS. These standards also establish an environment that encourages and facilitates pedestrian activity. Native trees and plants contribute to privacy, noise reduction, maintenance of the natural habitat, and conservation of water. Furthermore, they require less maintenance than imported or exotic species.

### A. General Principles and Intent

#### THE STREETScape

- The STREET and building façade receives more attention than the rest of the building.
- STREETScape elements, such as brick pavers, benches and waste-bins, throughout the **Columbia Pike Special Revitalization District** must be consistent within a project and should be consistent from project to project within an activity node (i.e. Town Center).
- STREET TREES are part of an overall streetscape plan designed to give special character to each STREET and coherence to each area. The desired aesthetic shall be achieved through the use of native/proven hardy adapted species where reasonable.
- PUBLIC ART shall be provided in accordance with the Arlington County PUBLIC ART policy and the *Public Art Master Plan* (when adopted).

#### FRONTS AND REARS

- Building facades are the public "face" of every building. Owners are encouraged to place planters and window boxes with flowering plants and/or climbing vines along the area in front of their buildings within the "shy zone", which is the area on the sidewalk within 2 feet of the building face.
- The private, rear portions of the LOTS (toward the alley) allow commercial operators to utilize these spaces as efficient working environments unseen by the public and allow residents to have private and semi-private (for apartment and condominium buildings) open space.

## B. Minimum Standards

### THE STREETScape

- Each STREET shall have canopy shade trees (STREET TREES). Wherever the REGULATING PLAN does not show specific STREET TREE placement, STREET TREES shall be planted along the STREET TREE ALIGNMENT LINE at an average spacing not greater than 25 to 30 feet on center (measured per block face). Tree planting area widths are specified in the **Typical Street Cross Sections** [for side streets] or the Master Transportation Plan – Part 1 [for Columbia Pike itself]. However, open soil surface area shall be not less than 60 square feet (with a minimum of 5 feet in any direction) per isolated tree, and connected (tree strip) planting areas are encouraged. The planting area's minimum dimension shall be not less than 5 feet. At planting, trees shall be at least 4 to 4.5 inches in diameter (4 feet above grade) and at least 12 feet in overall height. Species shall be selected from the **Columbia Pike Special Revitalization District Street Tree List**. Consult the ADMINISTRATIVE REVIEW TEAM for the designated tree species for a particular STREET.
- Any unpaved ground area fronting the LOTS (to the curb) shall be planted with groundcover or flowering vegetation.
- STREET TREES shall be "limbed up" so as to not interfere with pedestrian or auto/truck travel (minimum 7 feet clear over the sidewalk and 14 feet over the travel lanes of the street).

### BACKS

- At least 1 canopy shade tree per 200 square feet of the required open (unpaved) area shall be planted in the rear LOT area and no closer than 5 feet to any COMMON LOT LINE. (See the siting requirement under the BUILDING ENVELOPE STANDARDS). Such trees shall be at least 4 to 4.5 inches caliper (4 feet above grade) and 10 feet in overall height. Species shall be selected from the **Columbia Pike Special Revitalization District Street Tree List**.

### SIDEWALKS

- Sidewalks not otherwise designated in the **Street Type Specifications** or in the Master Transportation Plan – Part 1, are a minimum of 5 feet wide and shall be constructed to meet all County specifications.
- Where an area is unpaved, owners may place pavers and/or stepping stone walks between the curb and the sidewalk and between the sidewalk and entry/steps. Within the STREET the width of such walkways shall not exceed 6 feet and walkways shall not be located less than 8 feet from any STREET TREE.
- Sidewalks along Columbia Pike are to have 3 distinct zones; the shy zone (at least 2 feet in width), the clear zone (no less than 6 feet in width), and the furniture zone (up to 6 feet in width).

- The clear zone shall be constructed entirely of plain poured concrete. A variety of paving materials, textures and colors are encouraged in the shy and furniture zones. Consistency of paving design is required within a project and within each activity node.

#### **TURF AND GROUNDCOVER (WHERE VISIBLE FROM THE STREET and along the ALLEY)**

- All turf grass must be solidly sodded at installation—not seeded, sprigged, or plugged (consult the ADMINISTRATIVE REVIEW TEAM).
- Groundcovers may be used in place of turf grass.
- In addition to the Lot, the owner must maintain the following areas:
  - ✓ The portion of the STREET between their LOT line(s) and the back of the curb.
  - ✓ The portion of the ALLEY between the LOT line(s) and the edge of pavement.

#### **ON-STREET PARKING**

- On-street parking nubs shall be incorporated into the sidewalk in a pattern consistent with the Master Transportation Plan.
  - ✓ The parking space / tree planting pattern may be interrupted by existing or proposed new driveways, streets, alleys, and transit stops/stations.
  - ✓ Parking spaces shall be constructed in a manner that allows proper drainage (toward a valley gutter at the curb line)
  - ✓ Parking spaces shall be constructed according to County standards to ensure accessibility for street cleaning vehicles.

#### **GENERAL NOTES**

- All plant material (including trees) shall conform to the standards of the *American Association of Nurserymen* and shall have passed any inspections required under State regulations.
- Invasive exotic species found anywhere on the LOT shall be removed.
- Mechanical and electrical equipment including, but not limited to, air compressors, pumps, exterior water heaters, water softeners, private garbage cans (not including public sidewalk waste bins), and storage tanks may not be stored or located within any STREET. (Water pumps not visible are not included in this prohibition.)
- Street lighting shall be placed along the STREET TREE ALIGNMENT LINE or within the furniture zone as shown in the Master Transportation Plan.



## C. SQUARES AND CIVIC GREENS

In addition to the above landscape requirements, SQUARES and CIVIC GREENS located within the **Columbia Pike Special Revitalization District** shall be designed, planted and maintained according to the following requirements.

SQUARES are generally active pedestrian centers. They should be designed appropriate to their high (pedestrian) traffic level with a higher percentage of paved surface area, underneath the canopy of shade trees. CIVIC GREENS are spaces intended for less intensive foot traffic. Pervious paving materials are encouraged in both SQUARES and CIVIC GREENS, and the percentage of impervious paving material shall be limited. The green plants and trees of SQUARES and CIVIC GREENS provide a landscape and civic architecture that complements the surrounding building architecture. A clear view through the public space is important for safety and urban design purposes.

### SQUARES

- Surface treatment and materials (within the area back-of-curb to back-of-curb excluding any CIVIC BUILDING, PUBLIC ART or monument footprint).
  1. Minimum 30 percent pervious surface area (turf, groundcover, soil or mulch).
  2. The remaining balance may be any paved surface including a maximum 30 percent *impervious* paved surface.
  3. A PUBLIC ART project (as defined herein or in Arlington County PUBLIC ART policy) is required in these locations.
  4. Paved surfaces, including the cartway, shall have a coordinated, distinctive pattern that calls attention to the pedestrian nature of the area.

### CIVIC GREENS

- Surface treatment and materials (within the area back-of-curb to back-of-curb excluding any CIVIC BUILDING, PUBLIC ART or monument footprint).
  1. Minimum 60 percent pervious surface area (turf, groundcover, soil or mulch).
  2. The remaining balance may be any paved surface including a maximum 30 percent *impervious* paved surface.
  3. A PUBLIC ART project (as defined herein or in Arlington County PUBLIC ART policy) is required in these locations.
  4. Paved surfaces, including the cartway, shall have a coordinated, distinctive pattern that calls attention to the pedestrian nature of the area.

### MATERIALS AND CONFIGURATIONS

- Wherever the REGULATING PLAN or the Master Transportation Plan does not show specific STREET TREE placement, STREET TREES shall be planted along the STREET TREE ALIGNMENT LINE at an average spacing not greater than 25 to 30 feet on center.
- The ground surface level elevation shall be between 0 and 18 inches above the top of the adjacent curb.



- Except for tree trunks, STREET LIGHTS, CIVIC BUILDINGS, PUBLIC ART or monuments, there shall be a clear view between 2 and 10 feet above grade. The foliage of newly planted trees may intrude into this area until the tree has sufficient growth to allow such a clear trunk height.
- Trees shall be selected from the **Columbia Pike Special Revitalization District Street Tree List**.
- Asphalt is prohibited on sidewalks, but may be incorporated in cartway design.
- Curb return radii on all intersections shall be 15 feet, where possible.

## D. Columbia Pike Special Revitalization District Street Tree List

The following list contains all species approved for use in the **Columbia Pike Special Revitalization District**. It contains native and acceptable adapted species. Other species may be used for planting within a LOT. Invasive exotic species may not be used anywhere on LOTS or other areas within the **Columbia Pike Special Revitalization District**. Species in **bold type** are specified (first preference) for placement along the STREET TREE ALIGNMENT LINE, as specified in the REGULATING PLAN. At the recommendation of the ADMINISTRATIVE REVIEW TEAM in coordination with the County's urban forester, modifications to this list may be made at a future date.

### Columbia Pike Special Revitalization District STREET TREE LIST

- |  |   |
|--|---|
| ▪ <i>Acer nigrum</i>                             | Black Maple                                   |
| ▪ <b><i>Acer rubrum</i></b>                      | <b>Red Maple (Town Center)</b>                |
| ▪ <i>Carya ovata</i>                             | Shagbark Hickory                              |
| ▪ <i>Celtis laevigata</i>                        | Sugar Hackberry                               |
| ▪ <i>Fraxinus americana</i>                      | White Ash                                     |
| ▪ <b><i>Fraxinus pennsylvanica laceolata</i></b> | <b>Green Ash (Village Center)</b>             |
| ▪ <i>Ginkgo Biloba</i>                           | Ginkgo (male only)                            |
| ▪ <i>Gleditsia triacanthos inermis</i>           | Thornless Honey Locust                        |
| ▪ <i>Liquidambar styracifolia</i>                | Sweetgum                                      |
| ▪ <i>Nyssa sylvatica</i>                         | Tupelo Black Gum                              |
| ▪ <i>Ostrya virginiana</i>                       | Hophornbeam                                   |
| ▪ <b><i>Platanus x acerifolia</i></b>            | <b>London Planetree (Neighborhood Center)</b> |
| ▪ <i>Platanus occidentalis</i>                   | Sycamore                                      |
| ▪ <b><i>Quercus phellos</i></b>                  | <b>Willow Oak (Western Gateway)</b>           |
| ▪ <i>Quercus rubra</i>                           | Red Oak                                       |
| ▪ <i>Quercus velutina</i>                        | Black Oak                                     |
| ▪ <i>Tilia tomentosa</i>                         | Silver Linden                                 |
| ▪ <i>Ulmus americana</i>                         | American Elm (Valley Forge)                   |
| ▪ <i>Tilia Americana</i>                         | Basswood                                      |
| ▪ <i>Zelkova serrata</i>                         | Japanese Zelkova                              |

## VI. Architectural Standards

Buildings must be reviewed by the ADMINISTRATIVE REVIEW TEAM. The ADMINISTRATIVE REVIEW TEAM will also work with the developer and/or designer to show them how the **Form Based Code** will satisfy their site needs and other requirements.

### A. General Principles and Intent

#### TRADITION

- These standards favor an aesthetic that is traditional in a broad sense. They specify an architecture language of load-bearing walls and regional materials. The standards also specify certain details, such as column and pier spacing, window proportions, roof or cornice configurations, storefronts, and overhangs.
- The intent behind these standards is to utilize a discipline of form when designing new buildings in order to foster a coherent Columbia Pike aesthetic.
- All building materials to be used shall express their specific properties. For example, stronger and heavier materials (masonry) support lighter materials (wood).

#### EQUIVALENT OR BETTER

- While only materials, techniques, and product types prescribed here are allowed, equivalent or better practices and products are encouraged. They shall be submitted to the ADMINISTRATIVE REVIEW TEAM and may be added to the approved list after proper review by the County.

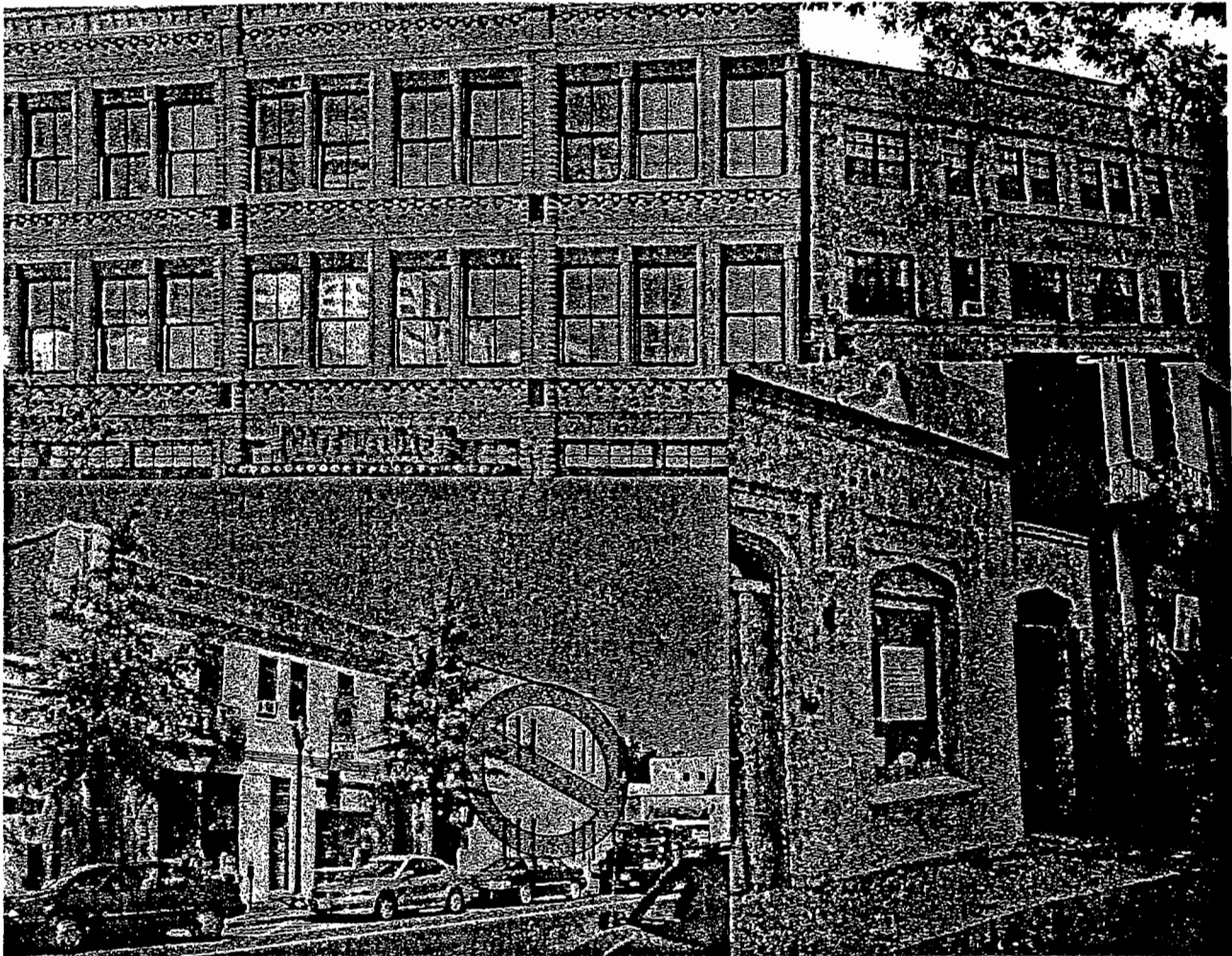
#### WHERE CLEARLY VISIBLE FROM THE STREET

- Many of these standards apply only in conditions WHERE CLEARLY VISIBLE FROM THE STREET. Note that the definition of STREET includes parks, CIVIC SQUARES, and CIVIC GREENS. These controls therefore concentrate on the public space/views from the public space and minimize interference in the private realm. For example, an architectural element that is visible only through an opening in a STREET WALL is not CLEARLY VISIBLE FROM THE STREET.

## B. Building Walls (Exterior)

### INTENT AND GUIDING ILLUSTRATIONS FOR BUILDING WALLS

Building walls should reflect and complement the traditional materials and techniques of Arlington County's regional architecture. They should express the construction techniques and structural constraints of traditional, long-lasting, building materials. Simple configurations and solid craftsmanship are favored over complexity and ostentation in building form and the articulation of details. All building materials to be used shall express their specific properties. For example, heavier more permanent materials (masonry) support lighter materials (wood). The illustrations and statements on this page are advisory only. Refer to the Code standards below for the specific prescriptions of this section.



## **STANDARDS FOR BUILDING WALLS (WHERE CLEARLY VISIBLE FROM THE STREET)**

Materials: The following materials are permitted.

- Brick and tile masonry
- Stucco (cementitious finish)
- Native stone (or synthetic equivalent)
- Pre-cast masonry (for trim and cornice elements only)
- Gypsum Reinforced Fiber Concrete (GFRC—for trim elements only)
- Metal (for beams, lintels, trim elements and ornamentation only)
- Split-faced block (only for piers, foundation walls and chimneys)
- Wood lap siding
- Hardie-Plank™ equivalent or better siding

Configurations and Techniques: The following configurations and techniques are permitted.

### *Walls*

- Wall openings shall not span vertically more than one story.
- Wall openings shall correspond to interior space and shall not span across building structure such as the floor structural and mechanical thickness.
- Wall materials shall be consistent horizontally (i.e. joints between different materials must be horizontal and continue around corners) except for chimneys and piers.
- Material changes shall be made within a constructional logic—as where an addition (of a different material) is built onto the original building.

### *Wood Siding and Wood Simulation Materials*

- Lap siding (horizontal) configuration
- Smooth or rough-sawn finish (no faux wood grain)

### *Brick, Block and Stone*

- Must be properly detailed and in appropriate load-bearing configurations.

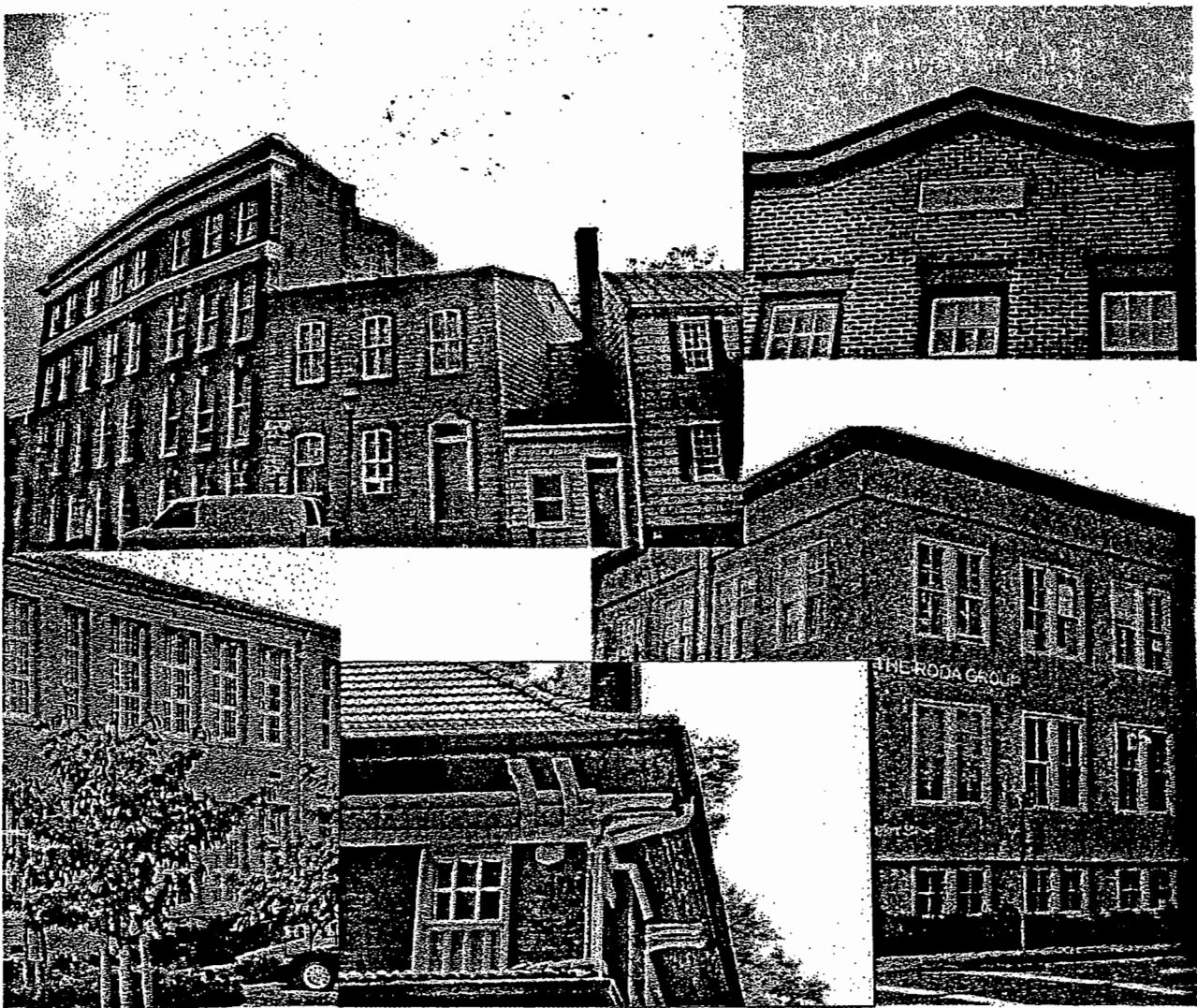
### *Stucco (cementitious finish)*

- Smooth or sand only, no “cake icing” finish.

## C. ROOFS AND PARAPETS

### INTENT AND GUIDING ILLUSTRATIONS FOR ROOFS AND PARAPETS

Roofs and PARAPETS should demonstrate a common sense recognition of the climate by utilizing appropriate pitch, drainage, and materials in order to provide visual coherence to the **Columbia Pike Special Revitalization District**. The illustrations and statements on this page are advisory only. Refer to the Code standards below for the specific prescriptions of this section.



## **STANDARDS FOR ROOFS AND PARAPETS (WHERE CLEARLY VISIBLE FROM THE STREET)**

**Materials:** The following materials are permitted.

- Clay or concrete (faux clay)
- Tile (barrel or flat roman)
- Slate (equivalent synthetic or better)
- Metal (standing seam 5-v crimp, equivalent or better)
- Dimensional Asphalt shingles
- Cornices and soffits may be a combination of wood, vinyl, and/or metal

**Configurations and Techniques:** The following configurations and techniques are permitted.

### ***Pitched Roofs***

The primary ridge beam shall run parallel to the STREET (except NEIGHBORHOOD Sites).

Pitch (exclusive of roofs behind PARAPET walls)

- Simple hip and gable roofs shall be symmetrically pitched between 6:12 and 12:12.
- Shed roofs, attached to the main structure, shall be pitched between 4:12 and 7:12.

### ***Overhang***

- Eaves must overhang at least 24 inches on the primary structure.
- Rakes (gable end) must overhang at least 18 inches.
- Eaves and rakes on accessory buildings, dormers, and other smaller structures must overhang at least 8 inches.
- Open eaves and simple traditional soffits and fascia are allowed.
- Soffits shall be placed perpendicular to the building wall, not sloping in plane with the roof (except for gable end rakes).
- Timber eaves and balcony brackets must be a minimum of 5.5 inches in dimension.

### ***Parapet Roofs (Cornice, Entablature, and Coping Standards)***

Allowed for MAIN STREET and AVENUE Sites, and LIVE/WORK Sites where the roof material is not visible from any adjacent STREET only.

### ***Cornices and Other Features***

- Buildings without visible roof surfaces and overhanging EAVES may satisfy the overhang requirement with a cornice projecting horizontally between 6 and 12 inches beyond the building walls.
- Skylights and roof vents are permitted only on the roof plane opposite the primary STREET or RBL or when shielded from STREET view by the building's PARAPET wall.
- Overly elaborate, "postmodern" and/or "high-tech" designs are discouraged. However, ornamentation which contributes to the character of the building is encouraged. Consult the Administrative Review Team for appropriate configurations.



## D. STREET WALLS

### INTENT AND GUIDING ILLUSTRATIONS FOR STREET WALLS

STREET WALLS establish a clear edge to the STREET where the buildings do not. The *Columbia Pike Special Revitalization District Form Based Code* requirements include masonry walls that define outdoor spaces and separate the STREET from the private realm (parking lots, trash cans, gardens, and equipment). All STREET WALL facades shall be as carefully designed as the building façade, with the finished side out, i.e. the "better" side facing the STREET. The illustrations and statements on this page are advisory only. Refer to the Code standards below for the specific prescriptions of this section.





## **STANDARDS FOR STREET WALLS (WHERE CLEARLY VISIBLE FROM THE STREET)**

Materials: The following materials are permitted.

- Native/regional stone and equivalent imitation stone
- Metal (wrought iron, welded steel and/or aluminum [black] for gates only)
- Brick
- Stucco on concrete block (or poured) only with brick or stone coping
- A combination of materials (e.g. stone piers with brick infill panels)

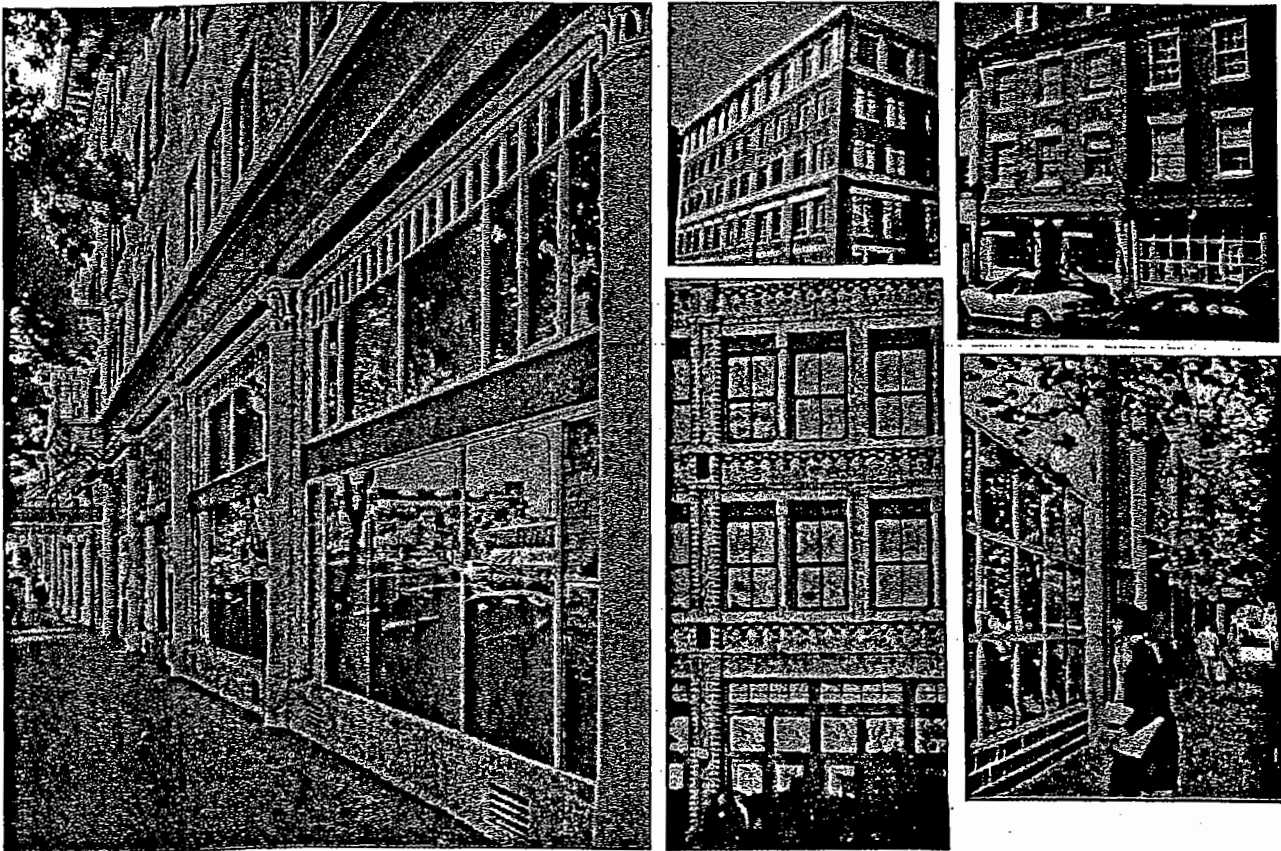
Configurations and Techniques: The following configurations and techniques are permitted.

- STREET WALLS along any unbuilt REQUIRED BUILDING LINE shall be built to a height of 7 feet above the adjacent ground.
- STUCCO STREET WALLS shall have a hardy species of climbing vine planted along them.
- Metal work may additionally be treated to imitate a copper patina.
- Copings shall project between 1 inches and 4 inches from the face of the wall.

## E. Windows and Doors

### INTENT AND GUIDING ILLUSTRATIONS FOR WINDOWS AND DOORS

Windows shall be divided by multiple panes of glass. This helps the window "hold" the surface of the façade, rather than appearing like a "hole" in the wall (an effect produced by a large single sheet of glass). The illustrations and statements on this page are advisory only. Refer to the Code standards below for the specific prescriptions of this section.



## **STANDARDS FOR WINDOWS AND DOORS (WHERE CLEARLY VISIBLE FROM THE STREET)**

Materials: The following materials are permitted.

- Windows shall be of anodized aluminum, wood, clad wood, vinyl, or steel.
- Window glass shall be clear, with light transmission at the ground story at least 90 percent and for the upper stories 75 percent (modification as necessary to meet any applicable building code requirements). Specialty windows may utilize stained, opalescent, or glass block (one per façade maximum).
- Window screens shall be black or gray.
- Screen frames shall match window frame material or be dark anodized.
- Doors shall be of wood, clad wood, or steel.

Configurations and Techniques: The following configurations and techniques are permitted.

- The following requirements apply to **all windows**:
  - Windows may be ganged horizontally (maximum 5 per group) if each grouping is separated by a mullion, column, pier or wall section that is at least 7 inches wide.
  - Windows shall be no closer than 30 inches to building corners (excluding BAY WINDOWS and where the BUILDING CORNER is also a BLOCK CORNER).
  - Exterior shutters, if applied, shall be sized and mounted appropriately for the window (one-half the width), even if inoperable.
- The following requirements apply to **all upper-STORY windows**:
  - Windows shall be double-hung, single-hung, awning, or casement windows.
  - Fixed windows are permitted only as a component of a system including operable windows within a single wall opening.
  - Residential buildings/floors: panes of glass no larger than 36 inches vertical by 30 inches horizontal.
  - The maximum pane size for office uses is 48 inches vertical by 40 inches horizontal.
  - Egress windows may be installed according to the appropriate building code.

▪ **Shopfront (ground floor) windows and doors:**

- Single panes of glass not larger than 6 feet in height by 4 feet wide.
- Ground floor windows shall not be made opaque by window treatments (excepting operable sunscreen devices within the conditioned space) and shall allow a minimum 60 percent of surface view into the building for a depth of at least 20 feet.
- Shopfronts may extend up to 24 inches beyond the façade (RBL) into the STREET.

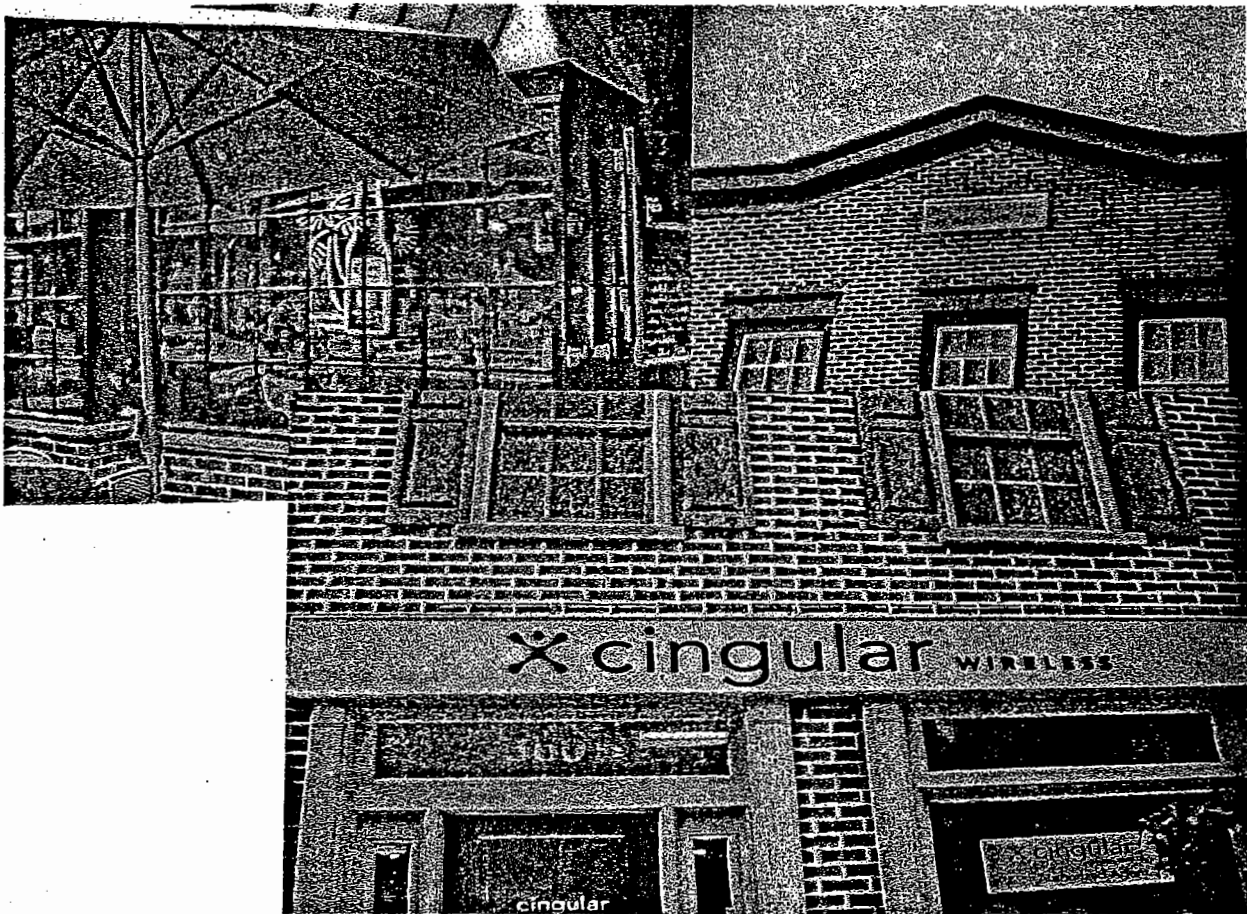
▪ **Doors:**

- Double-height entryways (those that span more than one STORY) are not allowed.
- Doors shall not be recessed more than 3 feet behind the shop-front windows and, in any case, shall have a clear view and path to a 45-degree angle past the perpendicular from each side of the door.
- Roll-down security gates and doors are prohibited.

## F. Signage

### INTENT AND GUIDING ILLUSTRATIONS FOR SIGNAGE

Signs along the **Columbia Pike Special Revitalization District's** commercial frontages should be clear, informative to the public and should weather well. Appropriate signage is desirable for advertising Columbia Pike shops and offices, and decoration. However, signage that is glaring or large creates a distraction, intrudes into and lessens the **Columbia Pike Special Revitalization District** experience, and creates visual pollution. The illustrations and statements on this page are advisory only. Refer to the Code standards below for the specific prescriptions of this section.



## **STANDARDS FOR SIGNAGE (WHERE CLEARLY VISIBLE FROM THE STREET)**

### **General:**

- Wall signs are permitted within the area between the second STORY floor line and the first floor ceiling, within a horizontal band not to exceed 2 feet in height. In no case shall this band be higher than 18 feet or lower than 12 feet above the adjacent sidewalk.
- Letters shall not exceed 18 inches in height or width and 3 inches in relief. Signs shall not come closer than 2 feet to an adjacent COMMON LOT LINE.
- Company logos or names may be placed within this horizontal band or placed or painted within GROUND FLOOR or second STORY office windows. Company logos or names shall not be larger than a rectangle of 8 square feet.
- A masonry or bronze plaque bearing an owner's or building's name may be placed in the building's cornice/PARAPET wall or under the EAVES, and above the upper STORY windows. Any such plaque shall be no larger than a rectangle of 8 square feet.
- STREET addresses may be placed at STREET entry doors using 6 inch tall, non-cursive type lettering. Such letters shall be between 6 feet and 10 feet above grade.
- Shop signs (not more than 18 inches vertical by 3 feet horizontal and minimum 9 feet clear height above the sidewalk) may be hung from an overhang or awning.
- Prohibited Signs: Billboards, canopy signs, marquees, any kind of animation, roof and painted window signs, and signs painted on the exterior walls of buildings are prohibited. No flashing, traveling, animated, or intermittent lighting shall be on the exterior of any building whether such lighting is of temporary or long-term duration. Portable or wheeled signs and advertising devices located outside any building are not allowed, pursuant to County regulations.

### **AWNINGS/Overhangs:**

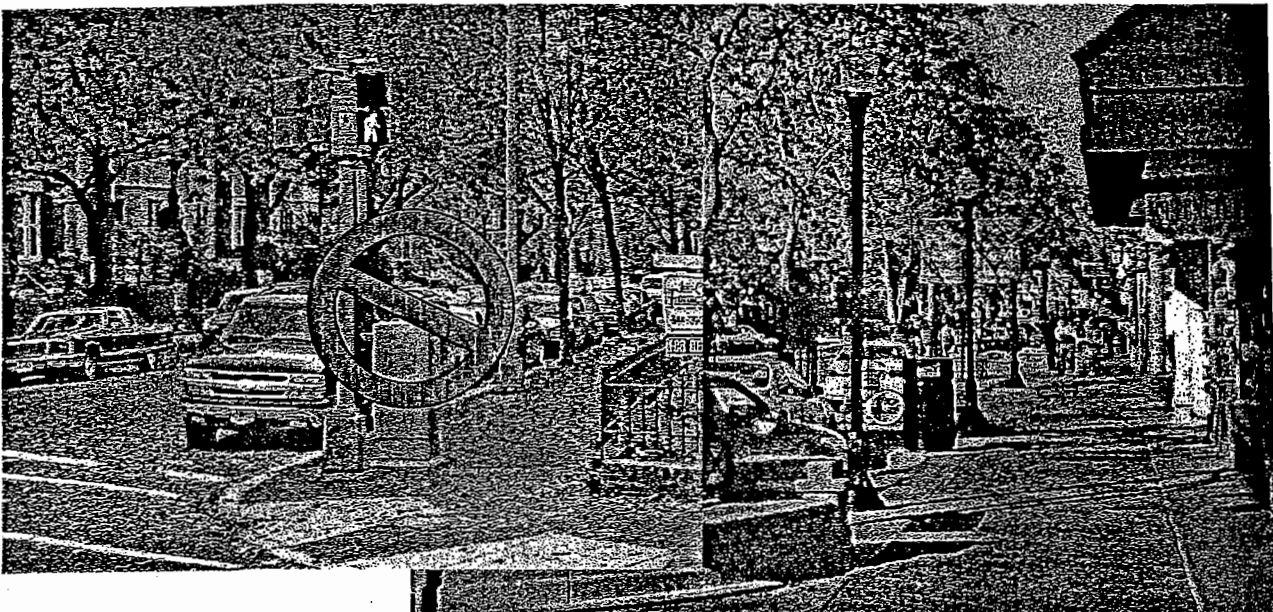
When an AWNING or overhang is incorporated into a building, the following requirements must be met:

- Minimum 10 feet clear height above sidewalk, minimum 6 feet depth out from the building façade (maximum to curb or tree-planting strip/furniture zone, whichever is closer).
- Canvas cloth or equivalent (no shiny or reflective materials), metal or glass.
- No internal illumination through the awning/overhang.
- Lettering on awnings limited to 5 inches tall on vertically hanging fabric at curb side of awning.
- No one-quarter cylinder configurations.

## G. Lighting and Mechanical Equipment

### INTENT AND GUIDING ILLUSTRATIONS FOR LIGHTING AND MECHANICAL EQUIPMENT

Materials and equipment chosen for lighting fixtures should be durable and weather well. Appropriate lighting is desirable for nighttime visibility, crime deterrence, and decoration. However, lighting that is too bright or intense creates glare, hinders night vision, and creates light pollution. The illustrations and statements on this page are advisory only. Refer to the Code standards below for the specific prescriptions of this section.





## **STANDARDS FOR LIGHTING AND MECHANICAL EQUIPMENT (WHERE CLEARLY VISIBLE FROM THE STREET)**

### **Lighting:**

- **STREET LIGHTS:** The "Carlyle" luminaire, or other STREET LIGHTS as the County specifies, shall be used within the Columbia Pike Special Revitalization District.
- **STREET lighting:** lights shall be located between 9 feet and 16 feet above grade with a maximum average spacing (per BLOCK face) of 60 feet on center located on the STREET TREE ALIGNMENT LINE or within the furniture zone on each side of the STREET and travel lanes (unless otherwise indicated on the REGULATING PLAN).
- At the front of the building, exterior lights shall be mounted between 6 feet and 14 feet above adjacent grade.
- All lots with ALLEYS shall have lighting fixtures within 5 feet of the ALLEY right of way. This fixture shall illuminate the ALLEY, shall be between 9 and 14 feet in height, and shall not cause glare in adjacent lots.
- Lighting elements shall be incandescent, metal halide, or halogen only. No HID or fluorescent lights (excepting compact fluorescent bulbs that screw into standard sockets) may be used on the exterior of buildings.
- Floodlights or directional lights (maximum 75-watt bulbs) may be used to illuminate ALLEYS, parking garages and working (maintenance) areas, but must be shielded or aimed in such a way that they do not shine into other LOTS, the STREET, or direct light out of the **Columbia Pike Special Revitalization District**.
- Floodlighting shall not be used to illuminate building walls (i.e. no up-lighting).
- Site lighting shall be of a design and height and shall be located so as to illuminate only the LOT. An exterior lighting plan must be approved as consistent with these standards by the ADMINISTRATIVE REVIEW TEAM.
- No flashing, traveling, animated, or intermittent lighting shall be visible from the exterior of any building whether such lighting is of temporary or long-term duration.
- Lighting for parking garages shall satisfy *Crime Prevention Through Environmental Design* (CPTED) standards.

### **Mechanical Equipment:**

- The following shall be placed away from any RBL, not be stored or located within any STREET, and be screened from view from the STREET:

Air compressors, mechanical pumps, exterior water heaters, water softeners, utility and telephone company transformers, meters or boxes, garbage cans, storage tanks, and the like may not be stored or located within any area considered a STREET under this Code.



Mechanical Equipment (con't):

- Roof mounted equipment shall be placed away from the RBL and be screened from view from the STREET.

On-Street Bicycle Parking:

Bicycle racks (2-bike capacity) shall be installed on both sides of the STREET, along the STREET TREE ALIGNMENT LINE or within the furniture zone at no more than 60 foot intervals (not to interfere with the placement of STREET TREES or STREET LIGHTS) measured parallel to the street. At the time of development, the developer is only responsible for the installation of bicycle racks on the side(s) of the STREET being developed.

## VII. Administration

The ***Columbia Pike Special Revitalization District Form Based Code*** process is intended to provide an incentive to property owners and developers who are willing to develop in a particular form. There are two review processes for the **Form Based Code** option: By-Right (administrative review) and Special Exception. The Special Exception process is dependent upon site size and/or the need for minor variations to the Code. Projects approved through the Special Exception process should nonetheless meet the intent of the **Form Based Code**.

Section 20 of the *Arlington County Zoning Ordinance* sets forth the provisions for reviewing and approving development applications within the **Columbia Pike Special Revitalization District**, as amended, where a landowner or developer chooses to develop pursuant to the **Form Based Code**. The intent is to ensure that all development occurring under the **Form Based Code** is consistent with the provisions of that Code as they pertain to height, siting, architectural standards, and building form. All five elements of the Form Based Code—**Definitions, the Regulating Plans, the Building Envelope Standards, the Streetscape Standards and the Architectural Standards**—will be applied during review.

The Columbia Pike Initiative ADMINISTRATIVE REVIEW TEAM, comprised of staff from the Department of Community Planning, Housing & Development, including planning and historic preservation; the Department of Public Works; and, Arlington Economic Development, is charged with review of all Form Based Code proposals.

### A. By-Right Option

Projects on smaller sites (less than 40,000 square feet) are able to build as a matter of right when they meet all of the standards of the **Form Based Code**. The Columbia Pike Initiative ADMINISTRATIVE REVIEW TEAM will be responsible for reviewing development proposals within 30 days of submission of a completed application. Permits will not be issued for building activity until review is completed and a determination made that the proposal is consistent with the **Form Based Code**. Applicants also will be required to provide copies of their proposal to the *Columbia Pike Revitalization Organization* and affected civic associations at the time of submission to the County. Up to two civic association representatives, who will be identified from each adjacent neighborhood, will participate in any administrative review affecting their neighborhood.

## **B. Special Exception/Use Permit Option**

The proposed Special Exception Use Permit process will be required for sites over 40,000 square feet or with floorplates over 30,000 square feet. Such sites will be required to meet the intent of the Code and will be evaluated in terms of how well they conform to the Code and meet other objectives of the *Columbia Pike Initiative—A Revitalization Plan*. The Use Permit process also provides the opportunity for community input as well as fine tuning of a development proposal to address issues that may not have been contemplated by the **Form Based Code**.

The Use Permit process will give the opportunity for appropriate deviations from the Code that are consistent with the County's goals and plans to revitalize Columbia Pike as detailed in the Columbia Pike Initiative that was recently adopted by the County Board. Examples of these deviations may include problems related to topography or STREET grade, the location of ALLEYS and STREETS, breaks and passages between buildings, signs, STREETSCAPE details, design issues related to the inclusion of existing buildings or mature trees as part of a development proposal. Where properties of less than 40,000 square feet have such difficulties, they too, could seek a use permit to gain approval of their development with needed variations.

As currently proposed, the Special Exception process would take approximately 55 days from acceptance of a completed application to public hearing by the Planning Commission and County Board. Applicants will be required to provide copies of their application to the *Columbia Pike Revitalization Organization* and all affected civic associations at the time of submission to the County. Applicants also will be required to perform property owner notification (affected, abutting and owners across the street) as required by the *Code of Virginia*. At the time an application is received, a Planning Commission representative will be designated and civic association representatives from the affected neighborhood will be contacted to begin coordinating community input on the project.

